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**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**PO Box 725**  
**Cross River, New York 10518**

**Tel: (914) 763-5592**  
**Fax: (914) 763-3637**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**AGENDA**

**Tuesday, November 18, 2014**

**Cross River Plaza, Cross River**

**Note: Meeting will start at 7:30 p.m. and end at or before 11:30 P.M.**

**I. PUBLIC HEARING**

**JT Farm (Peace & Carrots, LLC), 1125 Route 35, South Salem – Application for Final Subdivision Plat Approval - Cal# 9-13PB**

**Oakridge Condominium Association – 400 Oakridge Drive, South Salem – Applications for Waiver of Site Development Plan Procedures, Wetland Activity Permit Approval and Stormwater Permit Approval to replace existing pool deck and underground drainage system; demolish a portion of existing tennis court; resurface remaining portion of existing tennis court and portions of existing sidewalk; install a picnic grove, asphalt sidewalk, pergolas and landscape areas – Cal# 7-14PB, Cal# 50-14WP, Cal# 7-14SW**

**Shelby White, 199 Elmwood Road, South Salem – Applications for Final Subdivision Plat Approval and Wetland Activity Permit Approval – Cal# 6-14PB and Cal# 65-14WP**

**II. DECISION**

**Pinheiro Subdivision, 930 Old Post Road (Route 35), Cross River – Applications for Preliminary Subdivision Plat Approval, Final Subdivision Plat Approval, Wetland Activity Permit Approval and Stormwater Permit Approval - Cal # 1-14PB , Cal# 7-14WP, 1-14SW**

**Oakridge Gardens (Smith Ridge Housing, LLC, owner of record), NYS Route 123, Vista – Applications for Waiver of Site Development Procedures - Amendment to the resolution dated June 12, 2012, last amended September 24, 2012 – Cal# 6-02PB**

**III. EXTENSION OF TIME**

**Homeland Towers, LLC, and New Cingular Wireless, PCS, LLC (AT&T), applicants (Francis Coyle, Jr., and Ash Tree Development, LLC, owners of record) 117 Waccabuc Road, NYS Route 138, Goldens Bridge – Request for Extension of Time for Special Use Permit, Cal # 5-12PB and Wetland Activity Permit, Cal # 85-13WP**

**IV. PROJECT REVIEW**

**Guillermo Arias & Lexus Holding Company, LTD, 411 Smith Ridge Road, Vista – Application for Final Subdivision Plat Approval of a two (2) lot subdivision – Cal# 12-13PB**

**V. DISCUSSION**

**Septic Compliance Administration**

**VI. CORRESPONDENCE AND GENERAL BUSINESS**

**VII. MINUTES OF October 21, 2014**

**JT Farm**  
**Cal# 9-13PB**

# **TOWN OF LEWISBORO**

## **NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on November 18, 2014 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following: **Cal # 9-13PB.**

Application for Final Subdivision Plat Approval – Lot Line Change, submitted by JT Farm, 1125 and 1145 Route 35, South Salem, New York, owner of record, Peace and Carrots, LLC, to permit a lot line change between Tax Lot 27 and Tax Lot 28. The subject property consists of two (2) parcels totaling ± 38.42 acres of land on NYS Route 35 and within the R-4A Zoning District. The subject property contains a horse farm/riding academy known as JT Farm and is owned by Peace and Carrots, LLC. Tax Lot 27 currently consists of ± 25.84 acres of land and Tax Lot 28 consists of ± 12.58 acres. The applicant is proposing a lot line realignment which would result in Tax Lot 27 being reduced to ±18.4 acres and Tax Lot 28 being increased to ±20 acres. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during the regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Jerome Kerner  
Chairman**

**Dated November 13, 2014**

**The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.**

**JMC PROJECT 13112**  
2014/10/02 16:20:56



2014/10/02 16:21:18





- Site Planning
- Civil Engineering
- Landscape Architecture
- Land Surveying
- Transportation Engineering
- Environmental Studies
- Permitting
- Construction Services

October 15, 2014

Commissioner Kathleen O'Connor  
Westchester Department of Parks and Recreation  
450 Saw Mill River Road  
Ardsley, NY 10502

RE: JMC Project **13112**  
JT Farm Subdivision  
1125 Route 35  
Town of Lewisboro, NY  
Tax Map Section 26, Block 10541, Lots 27 & 28

Dear Commissioner O'Connor:

As requested by the Town Planning Board, we are pleased to submit one set of the following information for your department's review and notification in accordance with the public hearing set for 11/18/2014 in the Town of Lewisboro, NY for the above mentioned project:

1. JMC submission package to the Planning Board dated 08/22/2014.
2. Public Hearing notice prepared by the Town Planning Board.

We trust that the enclosed information is sufficient for your review and notification. In the interim, if you have questions or require additional information, please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying PLLC



Stephen Spina, PE  
Project Manager

cc: Mr. James Toon  
Mrs. Ellen Toon  
Ms. Lisa Pisera

F:\2013\13112\ltO'Connor 10-15-2014.docx

# AGRICULTURAL DATA STATEMENT

Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: JT Farm Subdivision  
Mailing address: 1125 Route 35  
Town of Lewisboro, NY

B. Description of the proposed project: Property contains a riding academy/horse farm with two tax lots which are 25.84 and 12.58 acres. Proposed lot line change resulting in the lots being resized to 20.05 and 18.37 acres.

C. Project site address: 1125 Route 35 Town: Lewisboro

D. Project site tax map number: Section 26, Block 10541, Lots 27 & 28

E. The project is located on property:  
 within an Agricultural District containing a farm operation, or  
 with boundaries within 500 feet of a farm operation located in an Agricultural District.

F. Number of acres affected by project: 38.42 but no land disturbance or construction will result

G. Is any portion of the project site currently being farmed?  
 Yes. If yes, how many acres \_\_\_\_\_ or square feet \_\_\_\_\_ ?  
 No.

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.

There are no other farms within 500 feet from the subject property. However, the applicant JT Farm has two other lots to the west of the two lots listed above that are within the agricultural district. They own all four lots within the agricultural district.

I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in Item H above.

~~~~~  
**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

~~~~~  
Stephen Spina, Project Engineer  
Name and Title of Person Completing Form

10/27/2014  
Date

**OAKRIDGE  
CONDOMINIUM  
ASSOCIATION**

**Cal# 7-14SW**

**Cal# 50-14WP**

**Cal# 7-14SW**

# **TOWN OF LEWISBORO**

## **NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Joint Public Hearing on November 18, 2014 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

### **Cal #7-14PB and Cal #50-14WP**

**Application for Waiver of Site Development Plan Procedures, Amended Site Plan Approval and Wetland Activity Permit Approval from Oakridge Condominium Association, 400 Oakridge Drive, South Salem, New York to permit modifications and improvements to the pool and recreation area associated with the Oakridge Condominium complex. The property is located on Oakridge Drive, off of Smith Ridge Road (NYS Route 123), and within the R-MF Zoning District. The pool and recreation area is located adjacent to a pond and watercourse and all of the proposed improvements are located within the Town's 150-foot regulated wetland buffer. The proposed action will result in a 6,180 s.f. reduction in impervious cover and will treat stormwater runoff from portions of the pool deck before discharging to the pond. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.**

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Jerome Kerner  
Chairman**

**Dated November 13, 2014**

**The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.**



October 30, 2014

Mr. Jerome Kerner  
Town of Lewisboro Planning Board  
P.O. Box 725  
Cross River, New York 10518

RE: Oakridge Condominiums  
Pool and Recreation Area  
Wetland and Stormwater Permit Application  
Town of Lewisboro, New York

Dear Chairman Kerner and Members of the Planning Board:

Enclosed please find ten (10) copies of the following:

- Drawing Set (7 Sheets total), dated October 30, 2014.

The above mentioned materials are being submitted in support of Wetland and Stormwater Permits for the Oakridge Condominiums located at 400 Oakridge Drive. The plans have been revised to incorporate revisions requested by the Town Engineer as follows:

**Memorandum from Kellard Sessions, Consulting P.C., dated October 15, 2014:**

**SEQRA:**

We acknowledge that the proposed project is an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and that a coordinated review is not required.

**Required Approvals:**

1. We understand that an Amended Site Development Plan Approval, Wetland Activity Permit and a Town Stormwater Permit are required from the Planning Board.
2. It is our understanding that a public hearing has been scheduled for the November 18<sup>th</sup> Planning Board Meeting.
3. We understand a public hearing has been scheduled for the November 18<sup>th</sup> Planning Board meeting as required for a Wetland Activity Permit.
4. Improvements to the pool area do require approval from the Westchester County Department of Health (WCDOH). The project has been submitted to the WCDOH and upon receipt, approvals will be forwarded to the Planning Board.
5. Due to the proposed land disturbance exceeding 5,000 s.f., a Town Stormwater Permit is required from the Planning Board. A draft Notice of Intent and MS4 SWPPP Acceptance Form have been previously provided to the Planning Board in support of this permit.

**Plan Comments:**

1. A Westchester County Department of Health (WCDOH) approval for the Pool alterations is required. A submission has been made to the WCDOH. Upon receipt, said approvals shall be forwarded to the Planning Board for review.
2. Drawing SP-2 has been revised to include the proposed construction access location and the associated stabilized construction access detail has been added to Drawing D-1.

3. Drawing D-2 has been revised to include the Proposed Pool Fence Mounted on the Existing Wall Detail for review.
4. Drawings EX-1 and DP-1 have been revised to delete the previous General Notes # 3 & 4 on EX-1 and # 4 on DP-1 as requested.

**Memorandum from Lewisboro Conservation Advisory Council, dated October 14, 2014:**

As discussed at the last Planning Board Meeting, the project proposes a reduction in impervious surfaces and stormwater treatment of several impervious areas currently not treated. It was discussed to lower the lawn areas to capture runoff. It is not the intention of the applicant to depress these lawn areas as they are intended for members to sit or lay on. Since there are also trees proposed within said lawn areas, it is not advisable to depress them and install drain inlets.

Due to the lower elevations of the picnic grove, it is not believed adequate separation to groundwater can be provided based on the adjacent wetland.

The use of non-native trees such as the Aristocrat Callery Pear and the Kousa Dogwood are intentional for aesthetic reasons. The project Landscape Architect is reviewing the plantings for the possibility of using native plant species instead of non-natives.

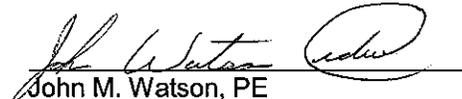
We look forward to further review at the Public Hearing for the Amended Site Development Plan Approval, Wetland and Stormwater Permits on the November 18<sup>th</sup> Planning Board Meeting.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

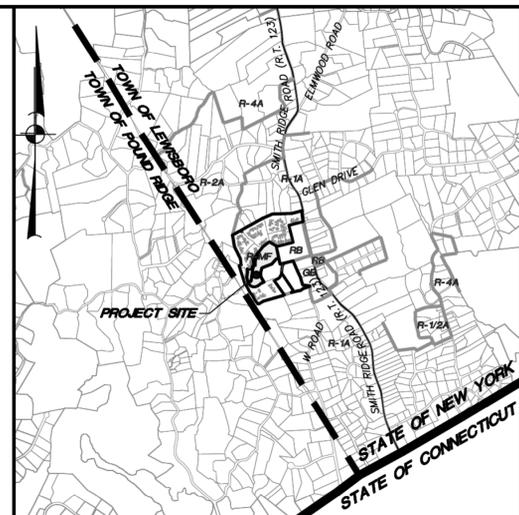
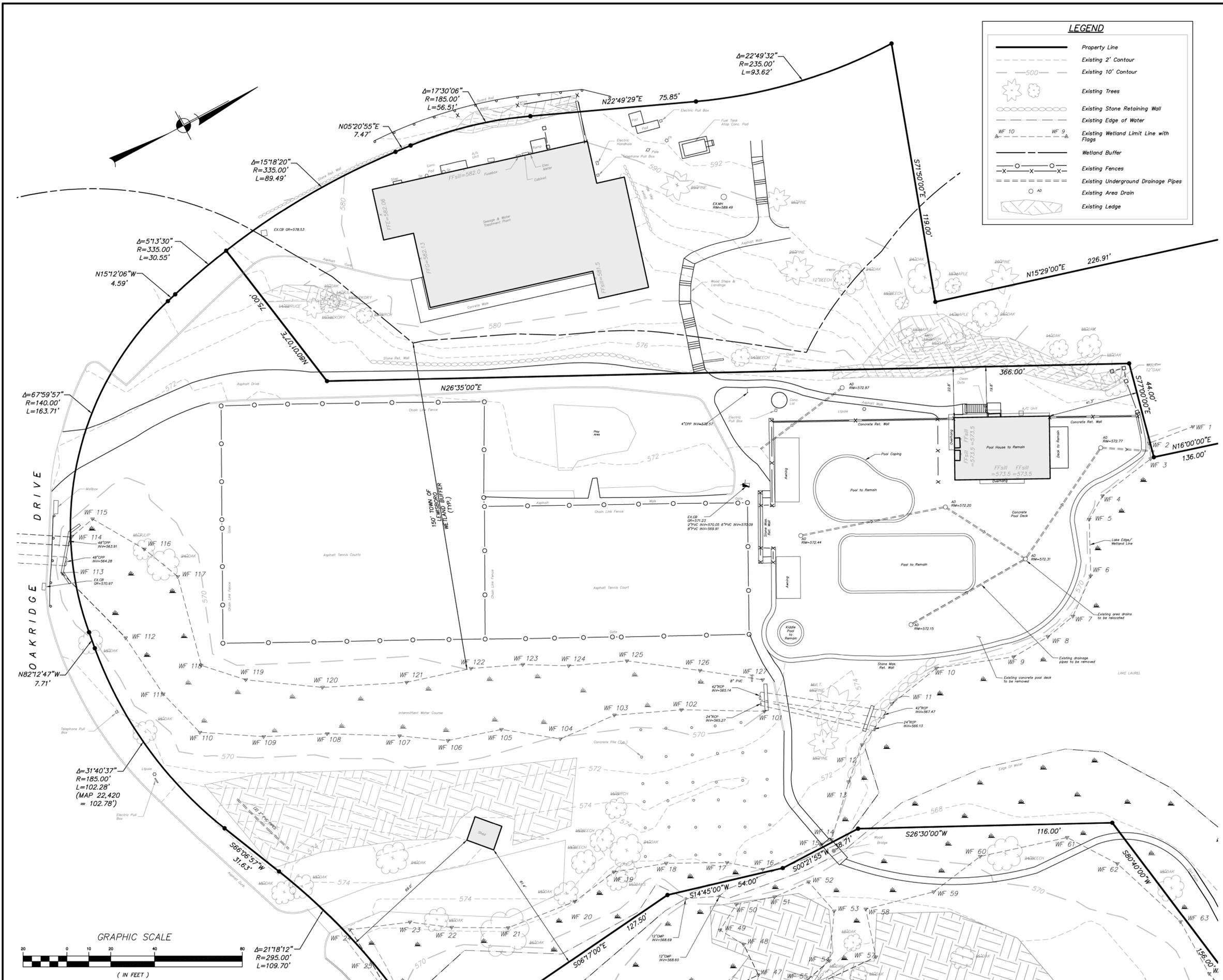
  
John M. Watson, PE  
Principal Engineer

JMW/jlk

Enclosures:

cc: Michael Lombardo  
Frank Sweeney

Insite File No. 11175.100



**OWNER:**  
 Association of the Oakridge Condominiums, Inc.  
 c/o Pamela Nafte  
 400 Oakridge Drive  
 Lewisboro, NY 10580

**SITE DATA:**  
 Zone: R-MF  
 (Multi-Family Residential)  
 Total Acreage: 8.90 AC

**APPLICANT:**  
 Plaza Realty & Management Corp.  
 c/o Michael Lombardo  
 P.O. Box 3221  
 Stamford, CT 06905

**Town of Lewisboro Tax Map No.:**  
 9829-6-490  
 9829-6.1-490

**Westchester County Tax Map No.:**  
 77.10-1-13  
 77.10-1-15

**GENERAL NOTES:**

- Existing conditions, topography, and a boundary shown hereon are taken from topographic survey prepared by Redniss & Mead dated June 30, 2014. Elevations depicted hereon are based on North American Vertical Datum of 1929 (NGVD-29).
- Wetlands depicted hereon delineated in field by Soli & Wetland Science, LLC, 3-20-2014 and located in field by Redniss & Mead, 04-2014.

**R-MF (Multi-Family Residential) Zoning District Table:**

	Required	Provided	
		Treatment Plant Lot	Pool House Lot
<b>Minimum Lot Size:</b>			
Area:	15 Acres*	1.34*	7.56*
Width/Circle (feet):	250	250	250
<b>Minimum Yard (feet):</b>			
Front:			
From Street Center Line:	75**	36±***	94±
From Front Lot Line:	50**	11±***	69±
Side:	40**	58±	20±***
Rear:	50**	32±***	68.3±
<b>Maximum Building Height:</b>			
Stories:	3	2	2
Feet:	35	less than 35	less than 35
<b>Maximum Building Coverage:</b>			
(Percentage of Lot Area):	12%	10.6%	0.4%

\* When located within and served by a public water and sewer district of the Town of Lewisboro, the minimum lot area shall be 15,000 square feet.

\*\* Except that the minimum setback from a common property line share with land in an adjoining single-family residence district shall be no less than two times the setback required from said common property line in that single-family district, but in no case less than is required elsewhere in the chapter.

\*\*\* Pre-existing non-conforming.

2	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
1	09-23-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
NO.	DATE	REVISION	BY

**INSITE**  
 ENGINEERING, SURVEYING &  
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
 Carmel, NY 10512  
 (845) 225-9690  
 (845) 225-9717 fax  
 www.insite-eng.com

**PROJECT:**  
 OAKRIDGE CONDOMINIUMS  
 POOL & RECREATION AREA  
 400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

**DRAWING:**  
 EXISTING CONDITIONS

**PROJECT NUMBER:** 11175.100  
**PROJECT MANAGER:** J.M.W.  
**DATE:** 07-22-14  
**DRAWN BY:** D.J.U.  
**SCALE:** 1" = 20'  
**CHECKED BY:** J.L.K.

**DRAWING NO.:** EX-1  
**SHEET:** 1/7

**GENERAL NOTES:**

- Existing conditions, topography, and a boundary shown hereon are taken from topographic survey prepared by Redniss & Mead dated June 30, 2014.
- Elevations depicted hereon are based on North American Vertical Datum of 1929 (NGVD-29).
- Wetlands depicted hereon delineated in field by Soil & Wetland Science, LLC, 3-20-2014 and located in field by Redniss & Mead, 04-2014.
- All construction and demolition debris will be removed from the subject property and disposed of in an off-site approved facility.



**LEGEND**

- Property Line
- Existing 2' Contour
- Existing 10' Contour
- Existing Trees
- Existing Stone Retaining Wall
- Existing Edge of Water
- Existing Wetland Limit Line with Flags
- Wetland Buffer
- Existing Fences
- Existing Fence to be Removed
- Existing Underground Drainage Pipes to be Removed

2	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
1	09-23-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
NO.	DATE	REVISION	BY

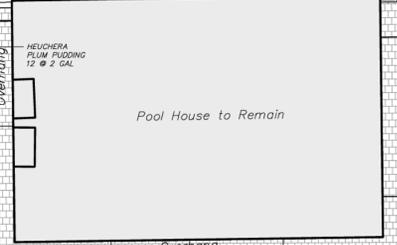
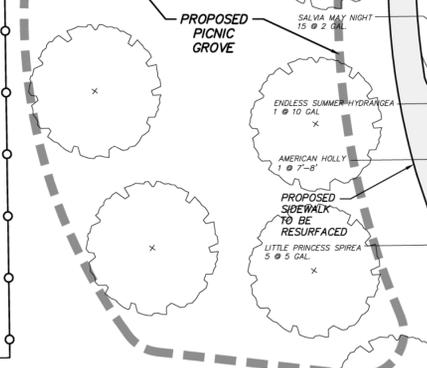
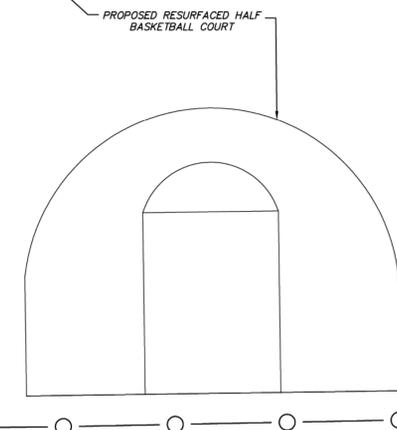
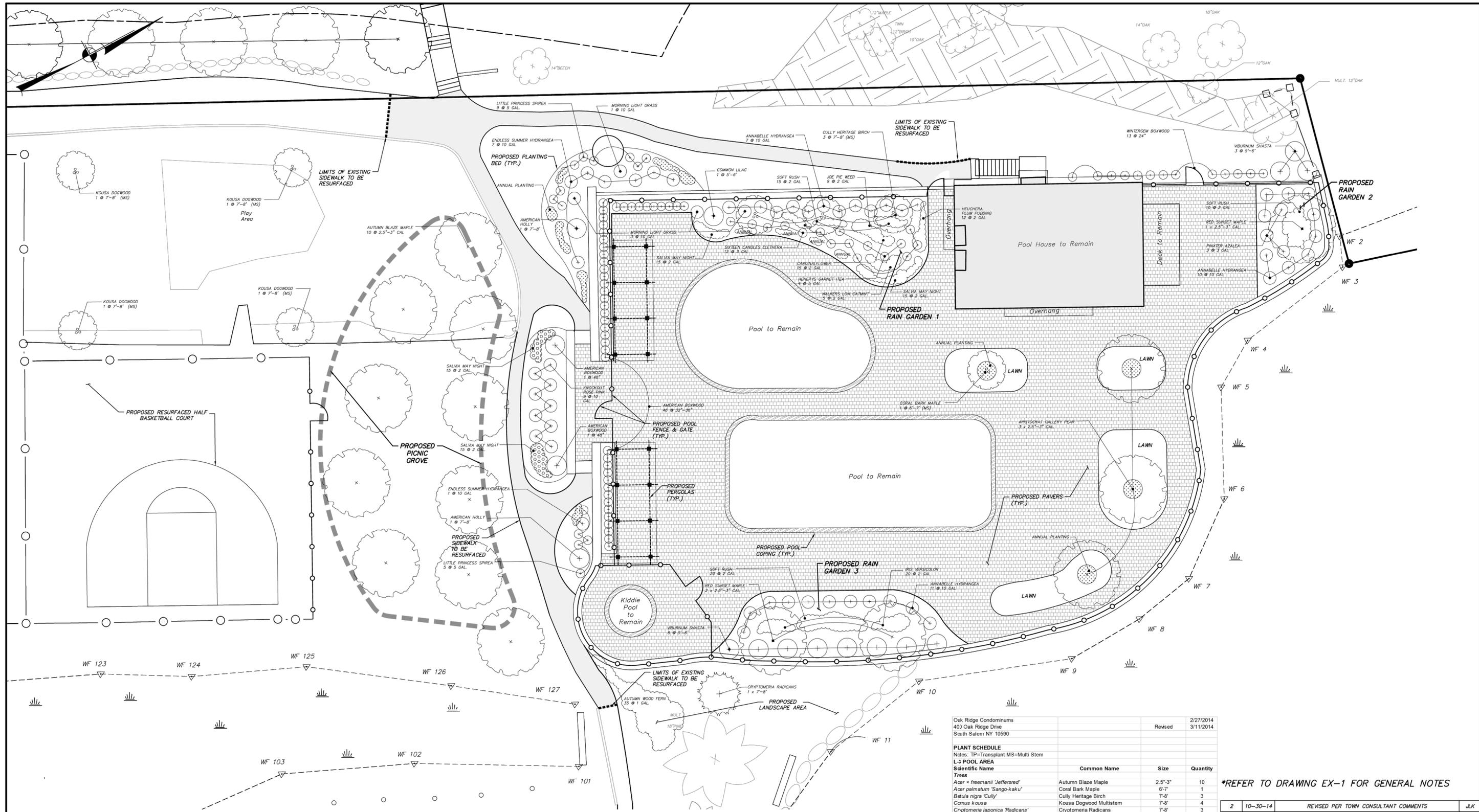
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PROJECT: **OAKRIDGE CONDOMINIUMS POOL & RECREATION AREA**  
400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

DRAWING: **DEMOLITIONS PLAN**

PROJECT NUMBER	11175.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	DP-1	SHEET 2/7
DATE	07-22-14	DRAWN BY	J.L.K.			
SCALE	1" = 10'	CHECKED BY	J.L.K.			

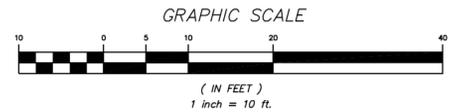
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

**LEGEND**

	Property Line
	Existing Stone Retaining Wall
	Existing Edge of Water
	Existing Wetland Limit Line with Flags
	Wetland Buffer
	Existing Fence
	Proposed Fence
	Proposed Pool Coping
	Limits of Existing Sidewalk to be Resurfaced



Oak Ridge Condominiums  
403 Oak Ridge Drive  
South Salem NY 10590

Revised 2/27/2014  
3/11/2014

**PLANT SCHEDULE**  
Notes: TP=Transplant MS=Multi Stem  
L-3 POOL AREA

Scientific Name	Common Name	Size	Quantity
<b>Trees</b>			
<i>Acer x freemanii</i> 'Jefferson'	Autumn Blaze Maple	2.5'-3"	10
<i>Acer palmatum</i> 'Sango-kaku'	Coral Bark Maple	6'-7"	1
<i>Betula nigra</i> 'Cully'	Cully Heritage Birch	7'-8"	3
<i>Cornus kousa</i>	Kousa Dogwood Multistem	7'-8"	4
<i>Cryptomeria japonica</i> 'Redicans'	Cryptomeria Radicans	7'-8"	3
<i>Prunus serotina</i> 'Kwanzan'	Kwanzan Cherry	2'-2.5"	11
<i>Pyrus calleryana</i> 'Anistocrat'	Anistocrat Callery Pear	2.5'-3"	6
<b>Shrubs</b>			
<i>Buxus sempervirens</i>	American Boxwood	48"	2
<i>Buxus sempervirens</i>	American Boxwood	32"-36"	36
<i>Buxus sempervirens</i>	Boxwood Wintergem	24"	13
<i>Hydrangea</i> 'Annabelle'	Annabelle Hydrangea	10 GAL	23
<i>Hydrangea</i> 'Endless Summer'	Endless Summer Hydrangea	10 GAL	8
<i>Rosa</i> 'Knockout Pink'	Pink Knockout Rose	10 GAL	9
<i>Rosa</i> 'Knockout Pink'	Pink Knockout Rose	5 GAL	2
<i>Spiraea</i> 'Little Princess'	Little Princess Spirea	5 GAL	19
<i>Syringa vulgaris</i>	Common Lilac	5'-6"	1
<i>Taxus x densiformis</i>	Spreading Yew Densiformis	24"-27"	5
<i>Viburnum plicatum</i> f. 'tom. 'Shasta'	Shasta Viburnum	5'-6"	11
<i>Weigela</i> 'Wine & Roses'	Wine & Roses Weigela	10 GAL	3
<b>Perennials, Grasses, Ground Covers</b>			
<i>Astilbe</i> 'Visions'	Astilbe Visions Pink	2 GAL.	40
<i>Crotoparis erythrorosa</i> 'Brilliance'	Autumn Wood Fern	1 GAL.	35
<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	2 GAL.	30
<i>Heuchera</i> 'Plum Pudding'	Heuchera Plum Pudding	2 GAL.	7
<i>Hоста</i> 'Striptease'	Striptease Hosta	2 GAL.	15
<i>Miscanthus sinensis</i> 'Morning Light'	Morning Light Grass	10 GAL.	3
<i>Naepa</i> 'Walker's Low'	Walker's Low Catmint	2 GAL.	6
<i>Pachysandra</i>	Pachysandra	Flat	19
<i>Salvia</i> 'May Night'	May Night Salvia	2 GAL.	30

\*REFER TO DRAWING EX-1 FOR GENERAL NOTES

NO.	DATE	REVISION	BY
2	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
1	09-23-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK

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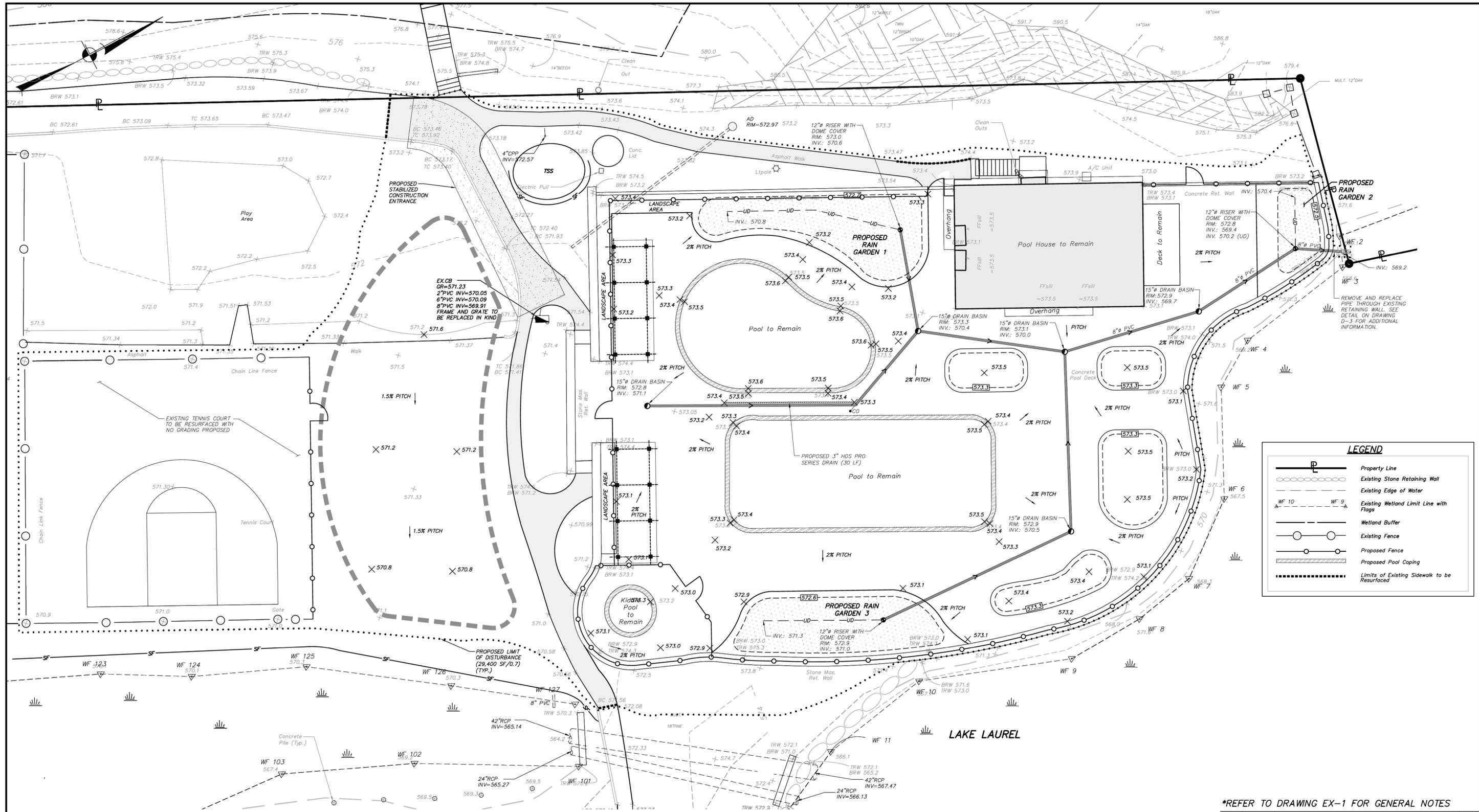
PROJECT: **OAKRIDGE CONDOMINIUMS POOL & RECREATION AREA**

400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

DRAWING: **LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER	11175.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	07-22-14	DRAWN BY	D.J.U.	SP-1	3
SCALE	1" = 10'	CHECKED BY	J.L.K.		7





**LEGEND**

	Property Line
	Existing Stone Retaining Wall
	Existing Edge of Water
	Existing Wetland Limit Line with Flags
	Wetland Buffer
	Existing Fence
	Proposed Fence
	Proposed Pool Coping
	Limits of Existing Sidewalk to be Resurfaced

\*REFER TO DRAWING EX-1 FOR GENERAL NOTES

NO.	DATE	REVISION	JLK
1	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
			BY

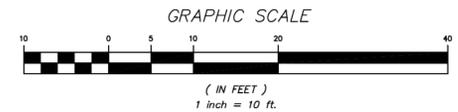
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Carmel, NY 10512  
(845) 225-9690  
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PROJECT: **OAKRIDGE CONDOMINIUMS POOL & RECREATION AREA**  
400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

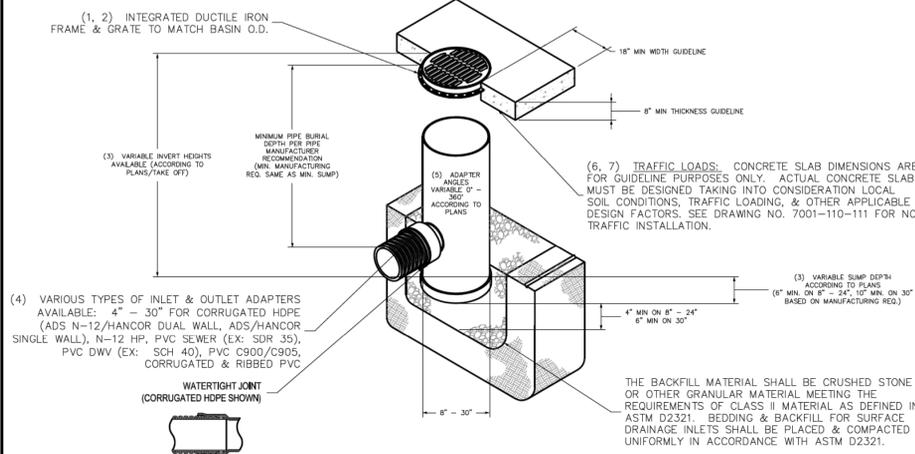
DRAWING: **GRADING, DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NUMBER	11175.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	09-23-14	DRAWN BY	D.J.U.	SP-2	4
SCALE	1" = 10'	CHECKED BY	J.L.K.		



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

**NYLOPLAST DRAIN BASIN WITH STANDARD GRATE**

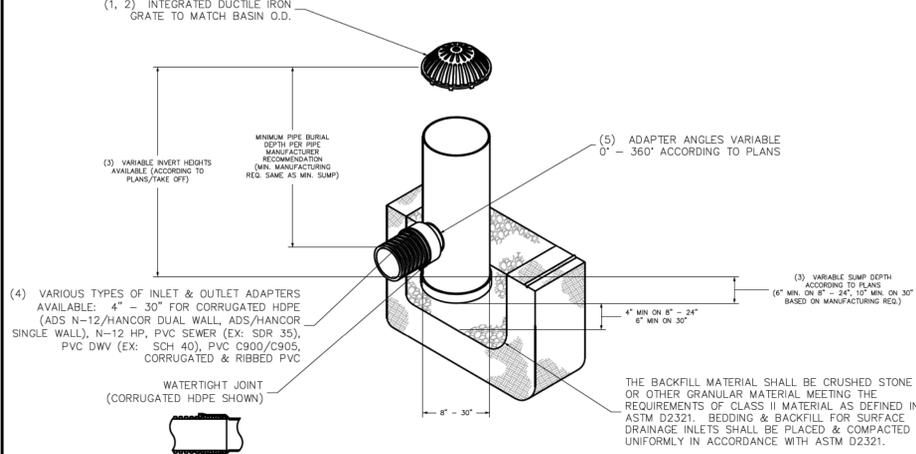


- 1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 4 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 5 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 6 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 7 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 8 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 9 - 12" - 30" GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

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DATE	3-23-06
REVISION	BY EBC
DATE	3-3-10
DWG SIZE	A
SCALE	1:40
SHEET	1 OF 1
DWG NO.	7001-110-144
REV	F

**NYLOPLAST DRAIN BASIN WITH DOME GRATE**

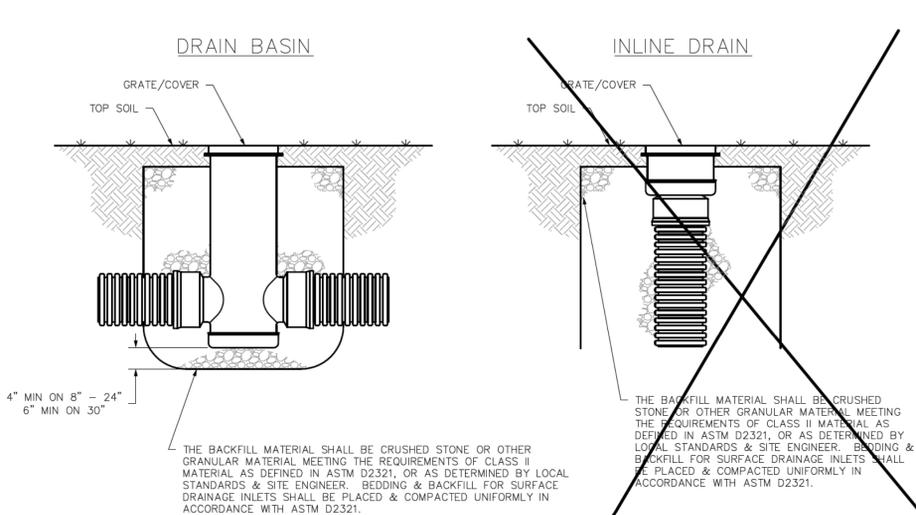


- 1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - 12" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - 12" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 4 - 12" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
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- 9 - 12" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

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DATE	3-23-10
REVISION	BY EBC
DATE	2-25-11
DWG SIZE	A
SCALE	1:40
SHEET	1 OF 1
DWG NO.	7001-110-397
REV	B

**NON TRAFFIC INSTALLATION**



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DATE	9-30-09
REVISION	BY EBC
DATE	2-24-10
DWG SIZE	A
SCALE	1:25
SHEET	1 OF 1
DWG NO.	7001-110-111
REV	D

DATE	9-30-09
REVISION	BY EBC
DATE	2-24-10
DWG SIZE	A
SCALE	1:25
SHEET	1 OF 1
DWG NO.	7001-110-111
REV	D

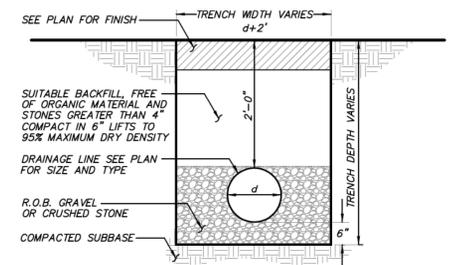
**EROSION AND SEDIMENT CONTROL NOTES:**

1. The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
2. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
3. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications for Erosion and Sediment Control," latest edition.
4. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
5. When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
6. All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
7. The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
8. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Lolium perenne aristatum or Lolium perenne multiflorum for temporary stabilization. Lolium perenne aristatum shall be used for winter seeding and Lolium perenne multiflorum shall be used for spring and summer seeding.
9. Any graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
    - Kentucky Bluegrass 20%
    - Creeping Red Fescue 40%
    - Perennial Ryegrass 20%
    - Annual Ryegrass 20%
  - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
10. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
11. Cut or fill slopes equal to or steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
12. Paved roadways shall be kept clean at all times.
13. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
14. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
15. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
16. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and other structures are not breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
17. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
18. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
19. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
20. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
21. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, the Town Engineer and/or NYCDEP shall be installed by the contractor.
22. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.
23. After completion of the site improvements, the owner will assume responsibility for maintenance of the walkways, drainage systems and stormwater facilities. Each spring the paved areas shall be cleaned to remove the winter accumulation of traction sand. After this is completed all drain inlet and catch basin sumps should be cleaned, all pipes should be cleaned and blocked as required. During the cleaning process, the drain inlets, catch basins and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacements should be made as required.
24. Refer to the Stormwater Pollution Prevention Plan for additional details regarding long-term maintenance of the storm drainage facilities.

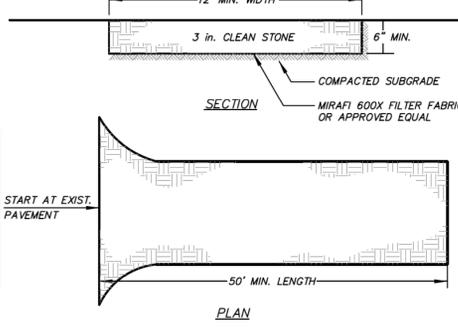
**EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE**

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/ReSeed/Remulch	ReSeed to 80% Coverage
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
SIDEWALK PAVEMENT	-	Inspect	Inspect	Clean	Clean

\* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is: Association of Oakridge Condominiums, Inc. 400 Oakridge Drive Lewisboro, NY 10590 and/or the current owner(s) of the subject property.



**DRAINAGE LINE TRENCH DETAIL** (N.T.S.)

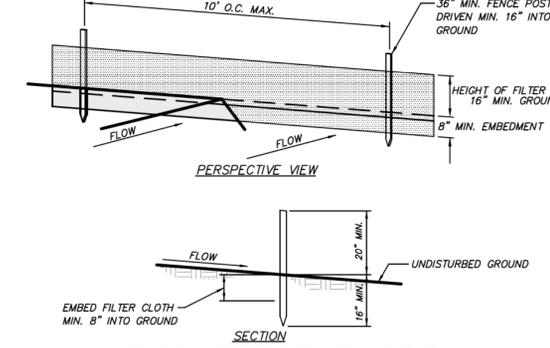


**INSTALLATION NOTES**

1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

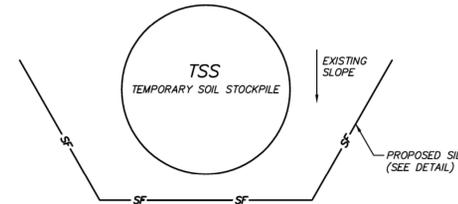
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

(N.T.S.)



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
  2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL** (N.T.S.)



- NOTES:**
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDING WITH K31 PERENNIAL TALL FESCUE.
  4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

**TEMPORARY SOIL STOCKPILE DETAIL** (N.T.S.)

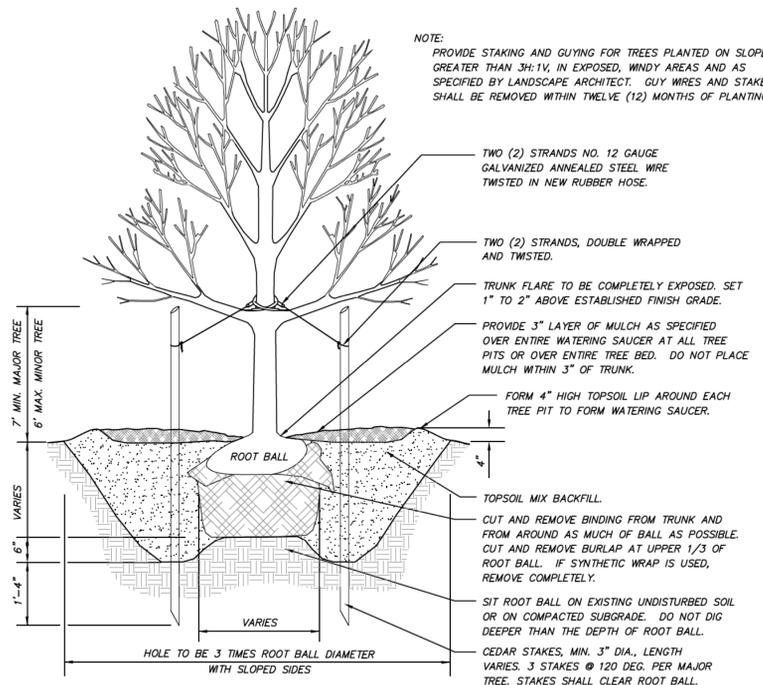
NO.	DATE	REVISION	BY
2	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK
1	09-23-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK

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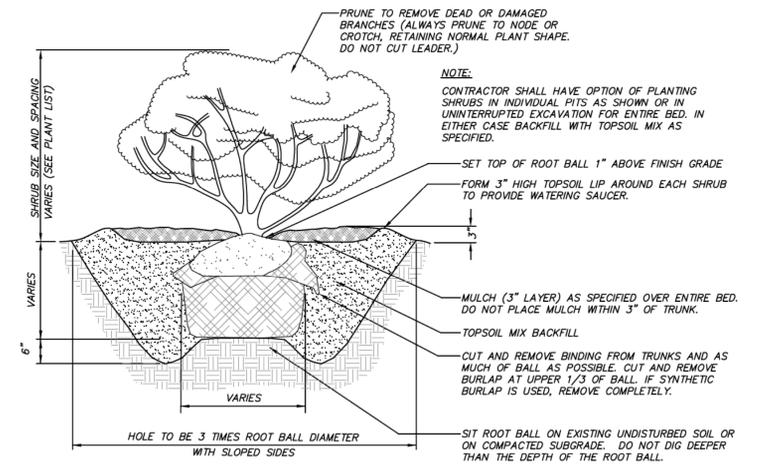
PROJECT: **OAKRIDGE CONDOMINIUMS POOL & RECREATION AREA**  
400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY  
DRAWING: **DETAILS**

PROJECT NUMBER	11175.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	07-22-14	DRAWN BY	D.J.U.	D-1	5
SCALE	AS SHOWN	CHECKED BY	J.L.K.		7

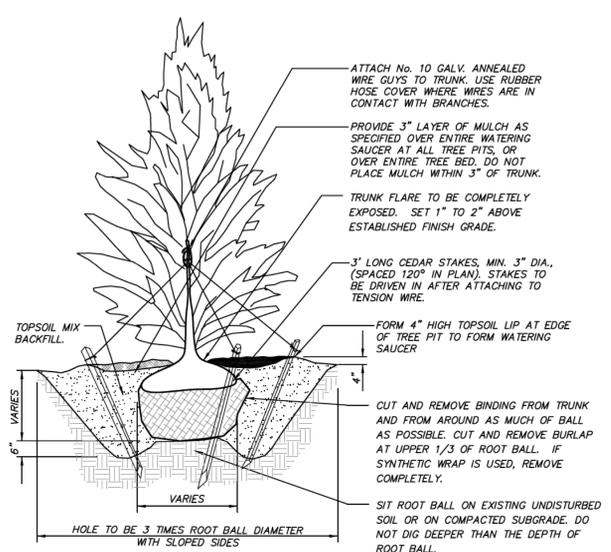
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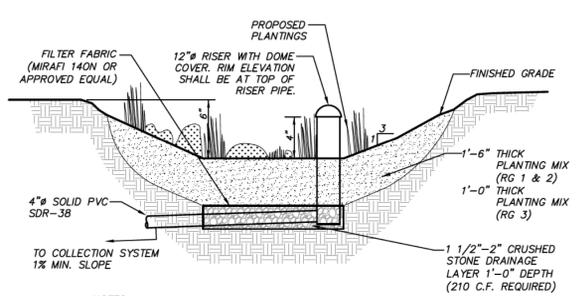
**TREE PLANTING DETAIL**  
(N.T.S.)



**SHRUB PLANTING DETAIL**  
(N.T.S.)



**EVERGREEN TREE PLANTING DETAIL**  
(N.T.S.)

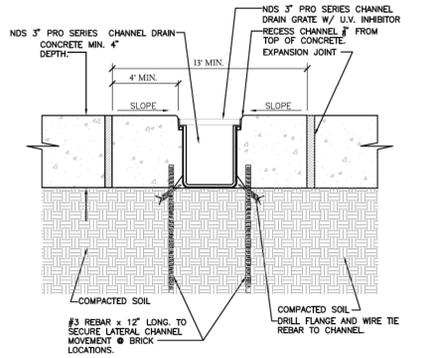


**TYPICAL RAIN GARDEN SECTION**  
(N.T.S.)

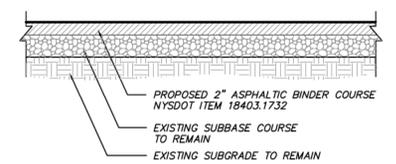
- NOTES:**
1. PLANTING SOIL SHALL CONSIST OF THE FOLLOWING:
    - 50-70% SAND (LESS THAN 5% CLAY CONTENT)
    - 30-50% TOPSOIL WITH AN AVERAGE OF 5% ORGANIC MATERIAL
  2. DEPTH OF THE PLANTING SOIL SHALL BE APPROXIMATELY 4" FROM THE BOTTOM OF THE DEEPEST ROOT BALL.

**GENERAL PLANTING NOTES:**

1. All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
3. No fertilizer shall be added in stormwater basin plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
4. All plant material to be nursery grown.
5. Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
6. Plant material shall be taken from healthy nursery stock.
7. All plants shall be grown under climate conditions similar to those in the locality of the project.
8. Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
9. The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
10. Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
11. All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



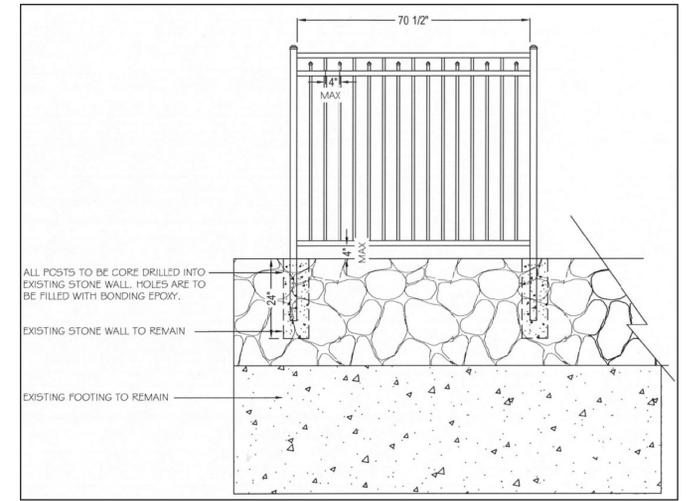
**TYPICAL CHANNEL DRAIN INSTALLATION DETAIL**  
(N.T.S.)



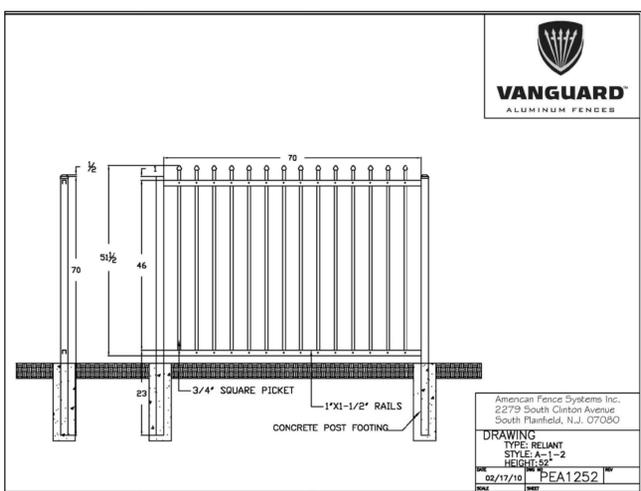
**ASPHALT SIDEWALK AND TENNIS COURT CONVERSION TO BASKETBALL COURT DETAIL**  
(N.T.S.)

**RAIN GARDEN MAINTENANCE NOTES:**

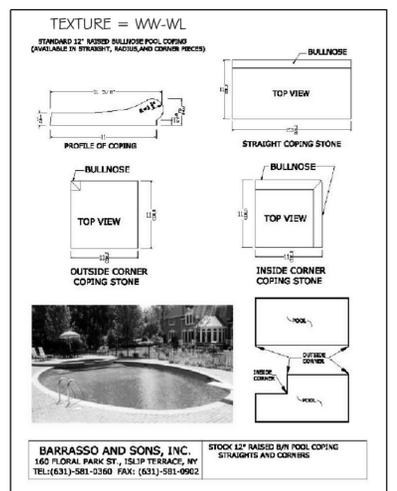
1. Refer to General Planting Notes.
2. No fertilizer shall be added in Rain Garden plantings. Nutrient requirements to be met by incorporation of acceptable organic matter.
3. All plantings shall be maintained in a healthy condition at all times. Any dying, dead or diseased plants shall immediately be replaced "in kind" or with suitable substitute from the Rain Garden Plant List on this drawing based on hydrology of Rain Garden (or as may otherwise be subsequently approved by the Planning Board) by the project owner.
4. Rain Garden plantings shall be mulched in the spring and monitored for weeds and invasive species, which shall be removed as necessary.



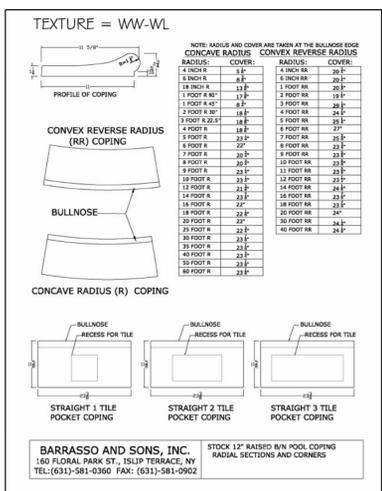
**PROPOSED POOL FENCE MOUNTED IN EXISTING WALL**  
(N.T.S.)



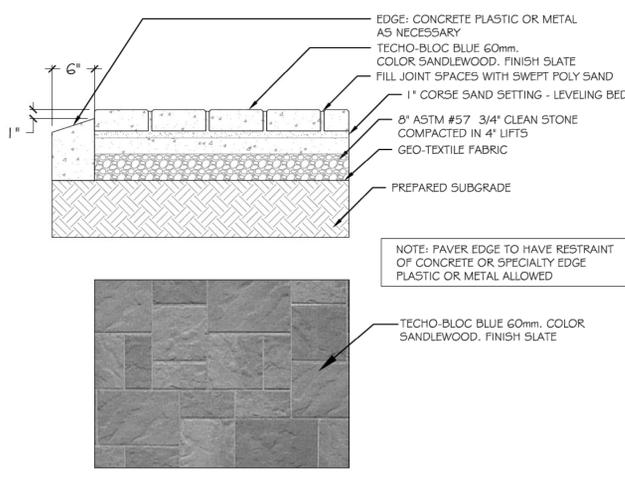
**POOL FENCE DETAIL**  
(N.T.S. - DIMENSIONS PROVIDED ARE IN INCHES)



**PROPOSED NEW POOL COPING DETAIL**  
(N.T.S.)



**PROPOSED COPING COLOR 7775-W DETAIL**  
(N.T.S.)



**PAVERS ON STONE BASE DETAIL**  
(N.T.S.)

NO.	DATE	REVISION	COMMENTS	BY
1	10-30-14		REVISED PER TOWN CONSULTANT COMMENTS	JLK

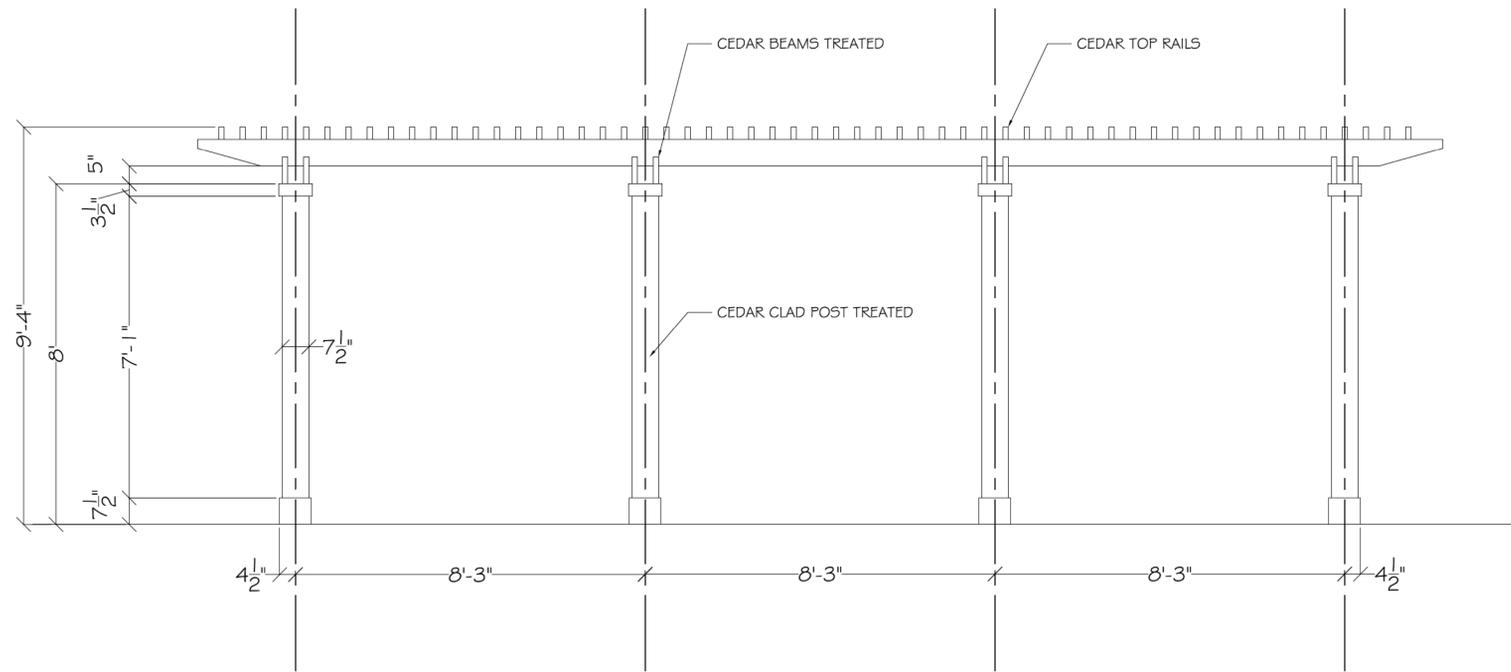
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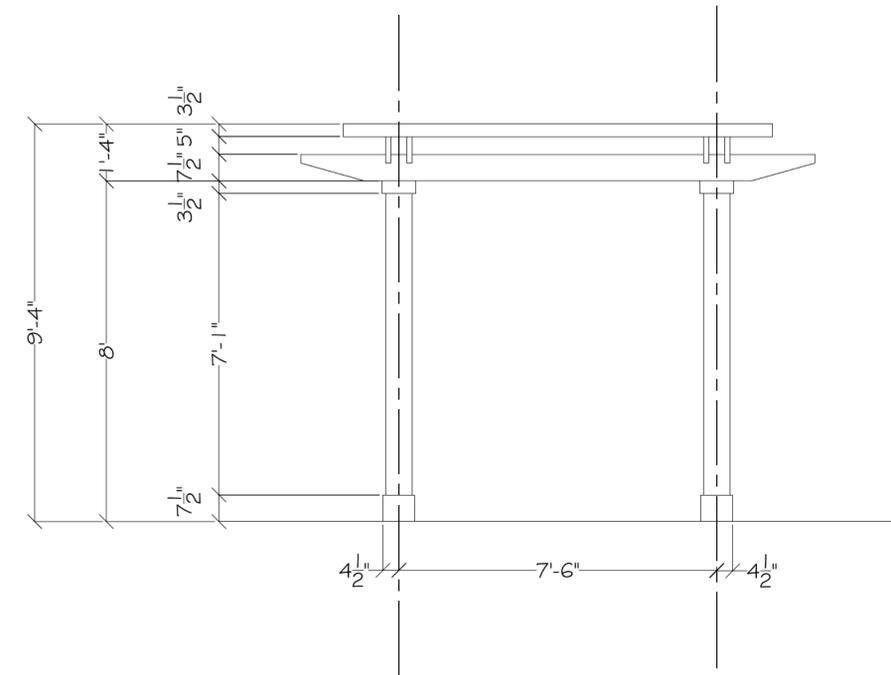
DRAWING:  
**DETAILS**

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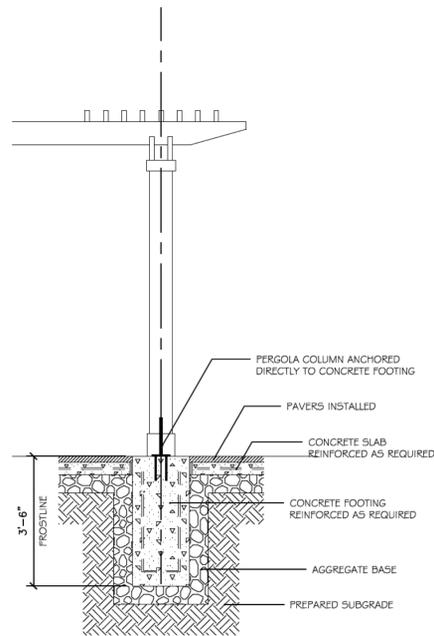
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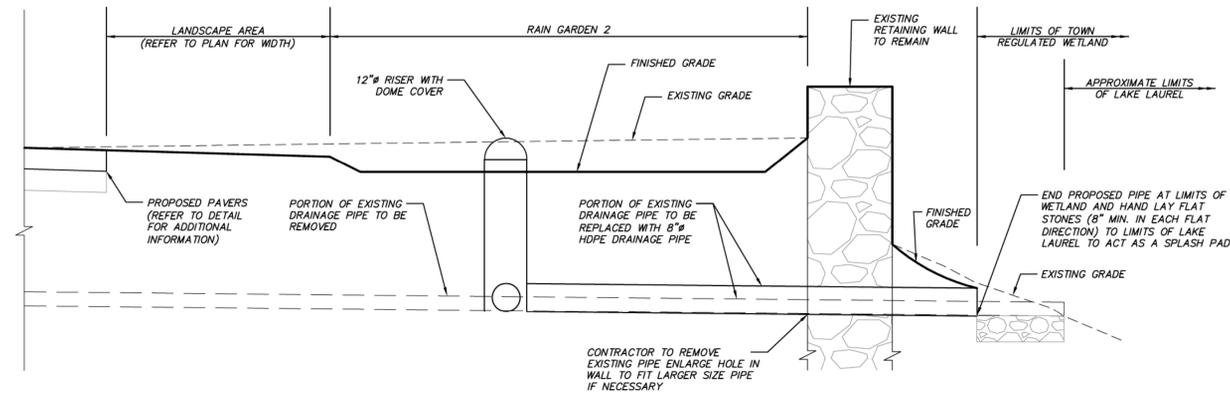
**PERGOLA ELEVATION**  
SCALE: 1/2" = 1'-0"



**PERGOLA ELEVATION**  
SCALE: 1/2" = 1'-0"



**PERGOLA BASE**  
(N.T.S.)



**RAIN GARDEN 2 OUTFALL DETAIL**  
(N.T.S.)

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1	10-30-14	REVISED PER TOWN CONSULTANT COMMENTS	JLK

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PROJECT:  
**OAKRIDGE CONDOMINIUMS  
POOL & RECREATION AREA**  
400 OAKRIDGE DRIVE, TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY



PROJECT NUMBER	PROJECT MANAGER	DRAWING NO.	SHEET
11175.100	J.M.W.	D-3	7
DATE	DRAWN BY	CHECKED BY	
09-23-14	D.J.U.	J.L.K.	
SCALE	AS SHOWN		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

**SHELBY WHITE**

**Cal# 6-14PB**

**Cal# 65-14WP**

# **TOWN OF LEWISBORO**

## **NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Joint Public Hearing on November 18, 2014 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

### **Cal #6-14PB and Cal #65-14WP**

Applications for Final Subdivision Plat Approval and Wetland Activity Permit Approval from Shelby White, 199 Elmwood Road, South Salem, New York. The subject property consists of two tax parcels totaling ±12 acres of land located on Elmwood Road within the R-2A Zoning District. The applicant is proposing a lot line realignment which would result in Tax Lot 62 being increased to 2.031 acres and Tax Lot 80 being reduced to 9.996 acres; the lot line change is proposed to accommodate the expansion of the existing septic system on Tax Lot 80. A pond and associated wetlands are located on Tax Lot 80 and the existing and proposed septic expansion is located within the Town's 150-foot wetland buffer. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Jerome Kerner  
Chairman**

**Dated November 13, 2014**

**The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.**

# Site Design Consultants

Civil Engineers • Land Planners

November 3, 2014

Ms. Lisa Pisera, Secretary  
Planning Board  
Cross River Shopping Center at Orchard Square  
Suite L – Lower Level  
20 North Salem Road  
Cross River, NY 10518

Via email [lpisera@lewisborogov.com](mailto:lpisera@lewisborogov.com)

Re: Shelby White  
199 Elmwood Road

Dear Ms. Pisera:

As required by the Town of Lewisboro, we have prepared and mailed out the attached "Notice of Public Hearing," via Certified / Return Receipt Requested US Post to the 21 neighbors within 500' of the referenced project. In addition, the required notice sign will be posted at the project location, and a photo of this posted sign will be submitted to your office. This project is scheduled for public hearing for the Town of Lewisboro Planning Board Meeting on November 18, 2014.

Enclosed please find the following items for your file:

- Copy of the "Notice of Public Hearing" as provided by your Office;
- List of adjoining property owners within 500';
- Copies of the "US Postal Service Certified Mail Receipt" for the 21 neighbors as provided by the Town of Lewisboro Assessor's Office;

We understand that your Office will advertise the Public Notice Meeting in your local newspaper.

Unless otherwise requested, the Return Receipt cards for this mailing will be brought to the November 18 Planning Board Meeting. Please review our submission and contact us if you have any questions. Thank you.

Sincerely,

  
Joseph C. Riina, P.E.

Cc: S. White

JCR/cm/Enc./sdc 13-26

---

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



**TOWN OF LEWISBORO**

**NOTICE OF PUBLIC HEARING**

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**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Jerome Kerner  
Chairman**

**Dated November 13, 2014**

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Ralph Emerson and Eulalia Mack  
10 Lockwood Road  
So. Salem, NY 10590  
49C-9634-117

Dora Lobianco  
14 Lockwood Road  
So. Salem, NY 10590  
49C-9834-118

William and Fay Shutzer  
28 Lockwood Road  
So. Salem, NY 10590  
49C-9834-3

Mark and Danato Albert  
34 Lockwood Road  
So. Salem, NY 10590  
49C-9834-12

Glenn and Linda Ostrander  
36 Lockwood Road  
So. Salem, NY 10590  
49C-9834-137

Peter Moreno and Endo Yoko  
40 Lockwood Road  
So. Salem, NY 10590  
49C-9834-142

Anthony and Patricia Drpich  
38 Lockwood Road  
So. Salem, NY 10590  
49C-9834-143

Jeffrey Lombardo  
44 Lockwood Road  
So. Salem, NY 10590  
49C-9834-136

Erling Pytte  
223 Elmwood Road  
So. Salem, NY 10590  
49C-9834-101 and 129

Annette Puglisi  
218 Elmwood Road  
So. Salem, NY 10590  
49C-10056-8

Samuel Rubin  
212 Elmwood Road  
So. Salem, NY 10590  
49C-10056-2

Richard Snyder  
P. O. Box 801  
So. Salem, NY 10590  
49C-10056-40

Addie Guttag  
200 Elmwood Road  
So. Salem, NY 10590  
49C-10056-7

William and Norine Hodges  
441 Smith Ridge Road  
So. Salem, NY 10590  
49C-9834-31

Jack and Judith Krellenstein  
89-11 63rd Drive  
Rego Park, NY 11374  
49C-9834-130

David and Mirianne Helmes  
20 Lockwood Road  
So. Salem, NY 10590  
49C-9834-104

Mitchell and Helen Kunzman  
190 Elmwood Road  
So. Salem, NY 10590  
47-10056-27

Michael Dodey and Jessica Condon  
184 Elmwood Road  
So. Salem, NY 10590  
47-10056-29

Christopher Schabacker  
183 Elmwood Road  
So. Salem, NY 10590  
47C-10066-5

Frank and Nicole Ferrante  
9 Lockwood Road  
So. Salem, NY 10590  
47C-10066-3

Brian Wittes  
5 Lockwood Road  
So. Salem, NY 10590  
47C-10066-4

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89-11 63rd Drive  
Rego Park, NY 11374

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**Michael Dodey and Jessica Condon**  
184 Elmwood Road  
So. Salem, NY 10590

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190 Elmwood Road  
So. Salem, NY 10590

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**Frank and Nicole Ferrante**  
**9 Lockwood Road**  
**So. Salem, NY 10590**

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**Christopher Schabacker**  
**183 Elmwood Road**  
**So. Salem, NY 10590**

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**Brian Wittes**  
**5 Lockwood Road**  
**So. Salem, NY 10590**

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# Site Design Consultants

Civil Engineers • Land Planners

October 30, 2014

Chairman Jerome Kerner, AIA  
Members of the Lewisboro Planning Board  
c/o Ms. Lisa Pisera, Secretary, Planning Board  
Cross River Shopping Center at Orchard Square  
Suite L – Lower Level  
20 North Salem Road  
Cross River, NY 10518

**RECEIVED**  
OCT 30 2014  
BY: *[Signature]*

Re: Shelby White  
199 Elmwood Road

Dear Chairman Kerner and Members of the Planning Board:

We are in receipt of the review memo from Kellard Sessions Consulting, P.C. dated October 15, 2014. A public hearing has been scheduled for the November 18, 2014 Planning Board Meeting. Documentation of this mailing will be provided to the Planning Board Secretary by November 3, 2014. Approval from the Westchester County Health Department will be submitted to the Town when obtained.

We have noted your requests as follows:

1. The existing and proposed bedroom count has been noted on the plans.
2. The Step III application is enclosed.
3. A separate plan showing the contiguous building area has been provided.
4. The driveway for lot 62 has been added to the site plan and plat.
5. The site plan shows all the proposed and existing septic system components.
6. The zoning setback lines have been added to the plat and site plans.
7. The 150' wetland setback has been indicated on the plat and site plans and the 100' wetland buffer line has been removed.
8. The existing wells are shown on both the site plans and plat.
9. The trees within the area of disturbance have been shown on the site plan and have been marked to be removed.
10. The architectural floor plans are enclosed in this submission.
11. The WCHD approval will be submitted upon receipt.
12. The typical erosion control details have been added to the site plan.
13. A draft of the driveway easement and maintenance agreement will be submitted separately.
14. The EAF is enclosed.
15. The required signature blocks have been added to all plan sheets.

Enclosed please find eleven copies of the following items of the above referenced project for distribution and review for the Planning Board Meeting of November 18, 2014:

- Step III: Application for Final Subdivision Plat Approval application;
- Short EAF;

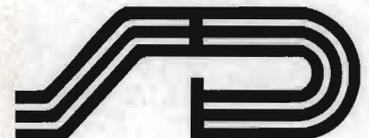
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60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



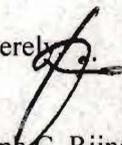
Chairman Jerome Kerner, AIA  
Members of the Lewisboro Planning Board  
October 30, 2014  
Page 2 of 2

- Plan set titled "Site Plans Prepared for Shelby White," Sheets 1 – 3 of 3, dated 10/21/14, last revised 10/30/14;
- Survey prepared by RKW Land Surveying, Prepared for Shelby White, last revised July 31, 2014;

Mrs. Shelby has not been available to sign the applications but we will provide eleven copies of the signed applications asap. The Application fee of \$305 and Tax Map fee of \$70 is included in attached check for \$375.00. The Mitigation Plans will be submitted under separate cover by Bruce Donohue.

Please review our submission for the Planning Board Meeting of November 18, 2014 and contact us if you have any questions. Thank you.

Sincerely,

  
Joseph C. Riina, P.E.

Cc: S. White

JCR/cm/Enc./sdc 13-26



DCS ARCHITECTURE DESIGN PLANNING

Date: October 29, 2014

To: Chairman Jerome Kerner, AIA and  
Members of the Lewisboro Planning Board

CC: Joseph Riina, PE, Site Design Consultants  
Ms. Shelby White  
Ms. Terese Carpenter

Re: Ms. Shelby White  
Lot Line Change/Wetland Permit  
195 and 199 Elmwood Road  
Sheet 49-C, Block 9834, Lots 62 & 80

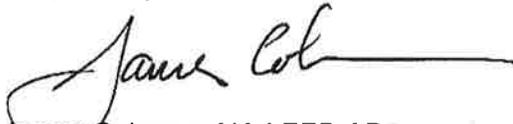
Per the request of the Planning Board, a description of the project and reasons for the location of the expanded septic and lot line change follows.

The property is a week-end residence for Ms. Shelby White and her family. The birth of a grandson and second grandchild on the way has led to the renovation of the existing unfinished attics to create two additional bedrooms.

The existing house is in the Doric Temple style and the renovation does not alter the existing foot print or roofline. The existing 3 bedroom house was built in the 1990s and had a septic system sized for 4 bedrooms. We reviewed the project in 2013 with the Westchester Health Department, hoping that due to week-end use of the property only, the existing septic system would be permitted. However, the Health Department has required that the existing system and reserves be expanded to meet the current requirements for a 5 bedroom system.

Although the site is over 10 acres, we only identified one feasible approach to expand the system that requires a land swap and lot line change to accommodate the new fields and reserves, due the proximity of wetlands, water courses, and surface rock. The Health Department has visited the site and inspected the existing system and has approved the proposed system pending approvals of wetland and lot line relocation applications.

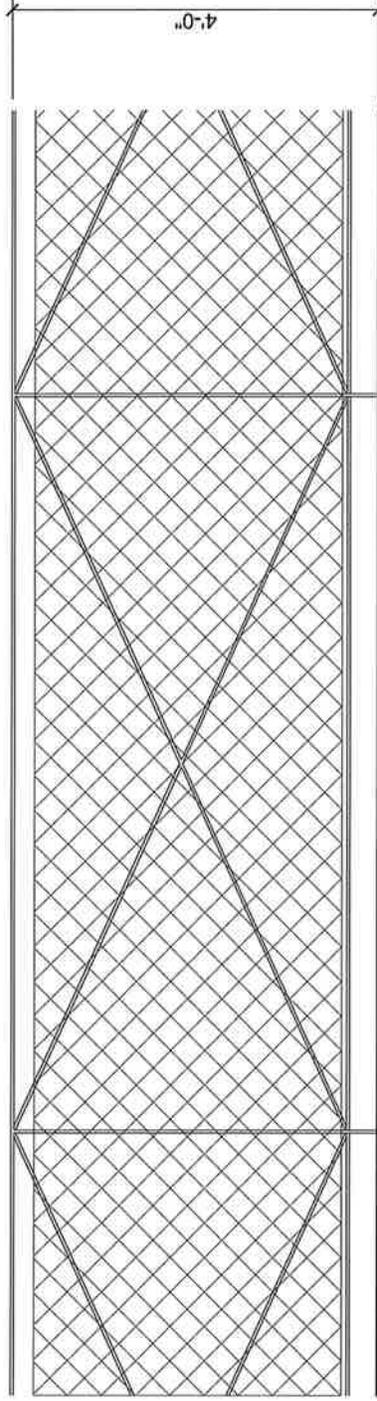
Respectfully,



James Coleman AIA LEED AP

NEW FENCING TO MATCH EXISTING ORNAMENTAL AND STAINLESS STEEL MESH FENCING @ POOL

FENCING TO CREATE MIN 4' TALL BARRIER AROUND ENTIRE POOL AREA  
AND TO HAVE SELF CLOSING LATCHED GATES. NO OPENINGS IN FENCING TO BE  
LARGER THAN 4".



JAMES COLEMAN  
ARCHITECTURE STUDIO  
OCT 29, 2014 1/2"

POOL FENCING  
199 ELMWOOD ROAD  
LEWISBOOR, NEW YORK

**STEP III: APPLICATION FOR FINAL SUBDIVISION PLAT APPROVAL**

Shelby White

R-2A

project name	zoning district
199 Elmwood Road	49 9834 73 & 80

site location	tax sheet	block	lot
10 site acreage	Is the site located within 500 FT of any Town boundary?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
** number of proposed lots	Is the site located within the New York City Watersh	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
N/A length of new streets	Is the site located on a State of County Highway? Route #	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

\*\*No new lots - lot line adjustment

Joseph C. Riina, P.E. Site Design Consultants - 251F Underhill Avenue, Yorktown, NY 962-4488

engineer's name	address	phone
Frank Walsh, LS, RKW Land Surveying, P.O. Box 788, New Canaan, CT 06840		(203) 966-3501

surveyor's name	address	phone
-----------------	---------	-------

ALL SUBMITTED PLANS AND DOCUMENTS SHALL BEAR AN ORIGINAL SIGNATURE, SEAL AND LICENSE NUMBER OF THE PROFESSIONAL RESPONSIBLE FOR PREPARING EACH ITEM. ALL PLANS SHALL BE EQUAL IN SHEET SIZE, COLLATED INTO STAPLED FOLDED SETS. THIRTEEN (13) COMPLETE SETS ARE REQUIRED.

**THE FOLLOWING MATERIALS SHALL BE ATTACHED:**

- DATE OF PRELIMINARY SUBDIVISION PLAT APPROVAL: \_\_\_\_\_
- FINAL SUBDIVISION PLAT per Section 195-16 and Appendix A-5 of the Land Subdivision Regulations.
- FINAL CONSTRUCTION PLAND per Section 195-16 and Appendix A-6 of the Land Subdivision Regulations.
- FORMAL OFFER OF CESSION of public streets, parks or easements per Appendix B of the Land Subdivision Regulations.
- PROPOSED LEGAL INSTRUMENTS of private easements (drainage, sight, common driveway, etc.)
- CERTIFIED ENGINEER'S COST ESTIMATE of all site improvements subject to bonding.
- WETLAND DELINEATION per chapter 217 Wetlands and Watercourses Law, with NYSDEC endorsement where appropriate.
- WETLAND ACTIVITY PERMIT APPLICATION FORM comple4te if any wetlands / 100-foot buffer activity is proposed.
- COMPLETED AFFIDAVIT OF OWNERSHIP FORM certifying owner of record as of date of the application.
- COMPLETED AFFIDAVIT FORM RECEIVER OF TAXES certifying payment of all taxes and assessments due.
- FILING FEE: See attached Application Fee Schedule. Check(s) are payable to: *Town of Lewisboro.*

THE APPLICANT understands that any application is considered complete only when all information and documents required have been Submitted and received by the Planning Board and further understands that the applicant is responsible for the payment of all application and Review fees incurred by the Planning Board. THE UNDERSIGEND WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

applicant's name	address	phone	signature	date
Shelby White	199 Elmwood Road, Lewisboro	212-751-1313		
owner's name	address	phone	signature	date

Date of receipt by Planning Board Secretary \_\_\_\_\_ Application ID: SUB \_\_\_\_\_

10/30/14

**FILE COPY**

**RECEIVED**  
NOV 05 2014

BY: *Jmp Febr*

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Shelby White			
Project Location (describe, and attach a location map): 199 Elmwood Road, Lewisboro			
Brief Description of Proposed Action: The property owner is proposing a lot-line adjustment for two lots. No new lots are being created. The referenced property owner owns both lots. Wetland Permit.			
Name of Applicant or Sponsor: Shelby White		Telephone: 212-751-1313	
		E-Mail: Elizabeth@shelbywhite.com	
Address: 199 Elmwood Road			
City/PO: Lewisboro		State: NY	Zip Code: 10590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Lewisboro: Subdivision and Wetland Permit; WCDOH Realty Subdivision Approval; NYS DOT Highway Driveway Entrance Permit			NO YES X
3.a. Total acreage of the site of the proposed action?		10 acres	
b. Total acreage to be physically disturbed?		.076 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

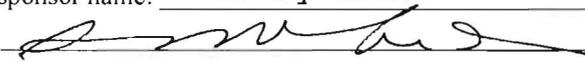
FILE COPY

RECEIVED

NOV 05 2014

BY: *Imp Feder*

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES
	X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO		YES
	X		
b. Are public transportation service(s) available at or near the site of the proposed action?		X	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES X
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____ Connections existing	NO		YES X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____ Connections existing	NO		YES X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO		YES X
b. Is the proposed action located in an archeological sensitive area?		X	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO		YES X
16. Is the project site located in the 100 year flood plain?	NO		YES X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO		YES X
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		X	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Shelby White</u>	Date: <u>10/30/14</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**TO:** Town of Lewisboro Planning Board

**FROM:** Lewisboro Conservation Advisory Council

**SUBJECT:** Shelby White – Lot line change and Wetland Activity Permit  
199 Elmwood Road, South Salem  
Cal# 6-14PB and Cal# 65-14WP

**DATE:** November 12, 2014

---

The Conservation Advisory Council (CAC) reviewed the plans, memorandum, and other materials submitted with a letter dated October 30, 2014 requesting a lot line change and Wetland Activity Permit Approval.

The CAC previously expressed concerns about the installation of additional septic fields and disturbance within the regulated wetland buffer. If it is not possible to accommodate the septic expansion outside of the wetland buffer then we strongly suggest the use of a microbial inoculation technology such as the “White Knight Microbial Inoculator Generator” or an equivalent technology. This technology, supported by a maintenance contract, should improve the quality of the effluent before it reaches the buffer.

**PINHEIRO  
SUBDIVISION**

**Cal # 1-14PB**

October 24, 2014

Jerome Kerner, Chairman  
Town of Lewisboro Planning Board  
PO Box 725  
Cross River, NY 10518

RECEIVED  
OCT 24 2014  
BY: *[Signature]*

**Re: Pinheiro Subdivision  
930 Old Post Road**

Dear Mr. Kerner and Members of the Planning Board:

The above referenced project was discussed at the October 21, 2014 public hearing. At the hearing, several minor technical items were identified by the Town Professional Consultants. Pursuant to same, we have revised the plans accordingly.

The Subdivision Plan has been revised in accordance with the above referenced discussions and the Town's Consultants memorandum. The memorandum has been addressed, item by item, as follows:

**-Town Planner/Town Engineer memorandum dated October 15, 2014**

**Planning Review**

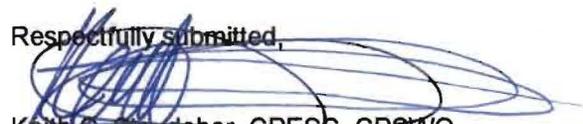
1. The storm garden detail has been revised to include the filter fabric on top of the stone drainage layer.
2. The separation distance to storm garden 1 has been adjusted and now confirmed.
3. The spillway elevations for the storm gardens are now included on the plans.
4. The existing roof leader has been notated to be shortened and provided with a level spreader.
5. The NOI will be signed at the appropriate time.

In support of this application and the above, find enclosed the following:

1. 10 copies of the revised subdivision plans.

As you are aware, the Public Hearing was closed and the Board agreed to prepare a resolution for both Preliminary and Final Subdivision Plat approval for consideration at the November meeting if the above information was submitted in a timely fashion. Should you have any questions or require additional information, please contact me at the above number. Thank you for your time and consideration in this matter.

Respectfully submitted,

  
Keith C. Staudohar, CPESC, CPSWQ  
Cronin Engineering P.E. P.C.

cc: Fernando Pinheiro w/ encl.  
Brad Schwartz, Esq. / Krista Yacavone, Esq. w/ encl.

pb-lewisboro-pinheiro-subdivision-resubmission2-ks-20141024.doc

November 06, 2014

Jerome Kerner, Chairman  
Town of Lewisboro Planning Board  
PO Box 725  
Cross River, NY 10518

RECEIVED  
NOV 05 2014  
BY: 

**Re: *Pinheiro Subdivision***  
***930 Old Post Road***

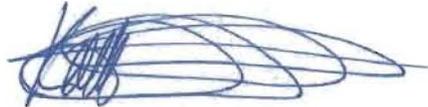
Dear Mr. Kerner and Members of the Planning Board:

As you are aware, the Public Hearing for the above referenced project was closed at the October 21 Board meeting and the Board agreed to prepare a resolution for both Preliminary and Final Subdivision Plat approval for consideration at the November meeting. As such, we have provided the following in support of the project for Final Subdivision Plat approval.

1. Application fee of \$375.
2. Application for Final Subdivision Plat approval.
3. Affidavit of Ownership.
4. Tax Payment Affidavit.

Should you have any questions or require additional information, please contact me at the above number. Thank you for your time and consideration in this matter.

Respectfully submitted,



Keith C. Staudohar, CPESC, CPSWQ  
Cronin Engineering P.E. P.C.

cc: Fernando Pinheiro w/ encl. via email  
Brad Schwartz, Esq. / Krista Yacavone, Esq. w/ encl. via email

**TOWN OF LEWISBORO PLANNING BOARD**  
**P. O. Box 725, Cross River, New York 10518 TEL (914) 763-5592 / FAX (914) 763-3637**  
**e-mail: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**STEP III: APPLICATION FOR FINAL SUBDIVISION PLAT APPROVAL**

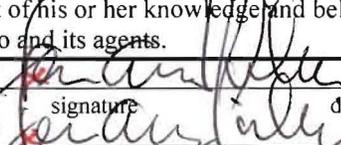
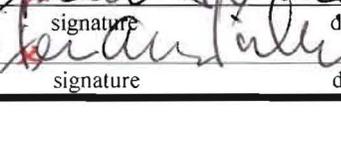
Subdivision for Pinheiro		R-1A	
project name	zoning district		
930 Old Post Road	20	10801	13
site location	tax sheet	block	lot
<u>2.94</u> site acreage	Is the site located within 500 FT of any Town boundary?		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
<u>2</u> number of proposed lots	Is the site located within the New York City Watersh		YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
<u>NA</u> length of new streets	Is the site located on a State of County Highway? Route #		YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
Cronin Engineering P.E. P.C.	39 Arlo Lane	Cortlandt Manor NY 10567	914-736-3664
engineer's name	address		phone
RKW Land Surveying	22 East Ave., PO Box 788	New Canaan, CT 06840	203-966-3501
surveyor's name	address		phone

ALL SUBMITTED PLANS AND DOCUMENTS SHALL BEAR AN ORIGINAL SIGNATURE, SEAL AND LICENSE NUMBER OF THE PROFESSIONAL RESPONSIBLE FOR PREPARING EACH ITEM. ALL PLANS SHALL BE EQUAL IN SHEET SIZE, COLLATED INTO STAPLED FOLDED SETS. THIRTEEN (13) COMPLETE SETS ARE REQUIRED.

**THE FOLLOWING MATERIALS SHALL BE ATTACHED:**

- DATE OF PRELIMINARY SUBDIVISION PLAT APPROVAL:** \_\_\_\_\_
- FINAL SUBDIVISION PLAT** per Section 195-16 and Appendix A-5 of the Land Subdivision Regulations.
- FINAL CONSTRUCTION PLAND** per Section 195-16 and Appendix A-6 of the Land Subdivision Regulations.
- FORMAL OFFER OF CESSION** of public streets, parks or easements per Appendix B of the Land Subdivision Regulations.
- PROPOSED LEGAL INSTRUMENTS** of private easements (drainage, sight, common driveway, etc.)
- CERTIFIED ENGINEER'S COST ESTIMATE** of all site improvements subject to bonding.
- WETLAND DELINEATION** per chapter 217 Wetlands and Watercourses Law, with NYSDEC endorsement where appropriate.
- WETLAND ACTIVITY PERMIT APPLICATION FORM** comple4te if any wetlands / 100-foot buffer activity is proposed.
- COMPLETED AFFIDAVIT OF OWNERSHIP FORM** certifying owner of record as of date of the application.
- COMPLETED AFFIDAVIT FORM RECEIVER OF TAXES** certifying payment of all taxes and assessments due.
- FILING FEE:** See attached Application Fee Schedule. Check(s) are payable to: *Town of Lewisboro.*

THE APPLICANT understands that any application is considered complete only when all information and documents required have been Submitted and received by the Planning Board and further understands that the applicant is responsible for the payment of all application and Review fees incurred by the Planning Board. THE UNDERSIGEND WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

Fernando and Maria Pinheiro	930 Old Post Road, Cross River NY 10518	914-953-8267		11-06-14
applicant's name	address	phone	signature	date
Fernando and Maria Pinheiro	930 Old Post Road, Cross River NY 10518	914-953-8267		11-06-14
owner's name	address	phone	signature	date

Date of receipt by Planning Board Secretary \_\_\_\_\_ Application ID: SUB \_\_\_\_\_

Check #124  
 Reept # 597511  
 \$375 (includes Tax  
 Map Fee)

**RECEIVED**  
 NOV 05 2014  
 BY: 

RECEIVED  
NOV 05 2014

BY: AmP

AFFIDAVIT OF OWNERSHIP

STATE OF NY )  
COUNTY OF WESTCHESTER s:

FERNANDO PINHEIRO, being duly sworn, deposes and says that

she/he resides at 930 OLD POST ROAD

in the County of: WESTCHESTER

State of: NEW YORK

And that she/he is (check one) (1) the owners, or (2) the \_\_\_\_\_  
Title

of \_\_\_\_\_  
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and known and designated on the Tax Map in the Town of Lewisboro as Lot Number 13

Block 10801 on sheet 20.

For (check one):

- SKETCH PLAN REVIEW     PRELIMINARY SUBDIVISION PLAT     FINAL SUBDIVISION PLAT
- SITE DEVELOPMENT PLAN     SPECIAL USE PERMIT     WAIVER OF SITE PLAN PROCEDURES
- WETLAND PERMIT     STORMWATER PERMIT     FILING WITH WESTCHESTER COUNTY CLERK

[Signature]  
Signed

Sworn to before me this

06 day of NOVEMBER, 2014

[Signature]  
Notary public (ink stamp)

KEITH STAUDOHAR  
Notary Public, State of New York  
No. 01ST4989672  
Qualified in Dutchess County  
Term Expires December 16, 2017

**Oakridge Gardens  
aka Laurel Ridge  
Cal# 2-14 PB**

**Laurel Ridge Development Inc.**  
**450 Oakridge Commons**  
**South Salem, New York 10590**  
**Telephone 914-533-6800**

October 30, 2014

Town of Lewisboro Planning Board

20 Cross River Shopping Center at Orchard Square, Suite L

Cross River, New York 10518

Attention: Lisa Pisera, Secretary

RE: Laurel Ridge Townhomes

Sheet 49D, Block 9830, Lots 279 & 325

Cal # 6-02 P.B.

Dear Chairman Kerner and Members of the Planning Board:

We respectfully request a place on the November 18th meeting Agenda to discuss the following items in connection with the Laurel Ridge Townhome project.

**1. PHASE 1 REQUIREMENTS:**

- We request Planning Board approval for the release of \$190,281 of the \$243,770 bond. This is in accordance with item #3 a) of the Security Agreement for Construction of Water & Sewer Improvements to be conveyed to Oakridge Water & Sewer Districts. We have been advised that Planning Board approval is a pre-requisite to the Town Board approval to release the requested amount.
- We request a Planning Board amending resolution on the timing of installation of the Downstream Defender hydrostatic separator from prior to 1<sup>st</sup> C of O to on or before December 31, 2014.

**2. PHASE 2 ARCHITECTURAL PLAN REVISION:**

- Further to discussion at the October meeting, we request approval on offering Phase 2 buyers the option to purchase an alternate C Unit floor plan OR and alternate E unit floor plan that provides a 1<sup>st</sup> Floor Master Bedroom. In both instances, this design change requires the elimination of one of the two attached garage spaces. Each/all of the units in PHASE 2 will have two exterior (driveway) parking spaces. If all of the units in PHASE 2 (27) were to elect a 1<sup>st</sup> Floor Master Bedroom plan, the total project parking space count would be reduced by 27 spaces from 191 spaces to 164 spaces. The 164 spaces would remain significantly higher than the 138 spaces required per zoning.

- Our Architect, Cross River Architect will be submitting under separate cover, the alternate 1<sup>st</sup> Floor Master Bedroom C and E Unit plans. Per your request, we will be presenting revised Bld #5 elevations to ACARC at their next meeting that illustrate the front elevations with each unit having a single garage.

We thank you in advance for your consideration of our requests.

Very truly yours,

Philip G. Pine

President

CC: File

**RECEIVED**  
OCT 30 2014

**TOWN OF LEWISBORO PLANNING BOARD**

PO Box 250 Cross River, New York 10518 TEL (914) 763-5592 / FAX (914) 763-3637  
e-mail: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

CK # 1202  
#205

**APPLICATION FOR WAIVER OF SITE DEVELOPMENT PLAN PROCEDURES**  
BY: *[Signature]*

Planning  
Laurel Ridge - Oakridge Gardens

project name \_\_\_\_\_ zoning district \_\_\_\_\_

Smith Ridge Rd / Rt 123 @ Oakridge Common

site location \_\_\_\_\_ tax sheet \_\_\_\_\_ block \_\_\_\_\_ lot \_\_\_\_\_

9.193 site acreage Is the site located within 500 FT of any Town boundary? YES  NO   
 \_\_\_ existing gross floor area Is the site located within the New York City Watershed? YES  NO   
 \_\_\_ proposed gross floor area Is the site located on a State of County Highway? Route # YES  NO

Richter Engineering P C 15 Jefferson Lane Bedford NY 10506 203-907-3895

engineer's name address phone  
Redniss & Mead 22 First St Stamford CT 06905 203-327-0500

surveyor's name address phone

**THIS APPLICATION IS FOR THE FOLLOWING ACTIVITY: (check one)**

- CHANGE FROM AN APPROVED USE TO ANOTHER PERMITTED USE.
- REVISION TO AN APPROVED SITE DEVELOPMENT PLAN.
- CONFORMING IMPROVEMENT NOT REQUIRING PHYSICAL SITE WORK SUBJECT TO REVIEW.

**ALL APPLICATION DOCUMENTS SHALL BE COLLATED INTO THIRTEEN (10) COMPLETE SETS.**

**THE FOLLOWING MATERIALS SHALL BE ATTACHED:**

- DETAILED WRITTEN DESCRIPTION OF PROPOSED ACTIVITY per Section 220-47 of the Zoning Ordinance.
- DATE OF: \_\_\_\_\_, AND COPY OF APPROVED SITE DEVELOPMENT PLAN with Planning Board signatures.
- ANNOTATED SITE PLANS, MAPS, SKETCHES OR DRAWINGS showing proposed activity.
- ADDENDUM SITE DATE FORM attach completed Site Date Firm to this application.
- SEQR SHORT ENVIRONMENTAL ASSESSMENT FORM.
- COMPLETED AFFIDAVIT OF OWNERSHIP FORM certifying owner of record as of date of the application.
- COMPLETED AFFIDAVIT FORM RECEIPIER OF TAXES certifying payment of all taxes and assessments due.
- FILING FEE: See attached Application Fee Schedule. Check(s) payable to: *Town of Lewisboro.*
- INITIAL ESCROW DEPOSIT payable to: *Town of Lewisboro (see Planning Board Secretary).*

THE APPLICANT understands that any application is considered complete only when all information and documents required have been Submitted and received by the Planning Board and further understands that the applicant is responsible for the payment of all application and Review fees incurred by the Planning Board.  
 THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

Smith Ridge Housing LLC 450 Oakridge Common South Salem NY 10590 914-533-7424 *[Signature]* 10/30/14  
 applicant's name address phone signature date

Click here to enter text. *SAME AS ABOVE*  
 owner's name address phone signature date

Date of receipt by Planning Board Secretary \_\_\_\_\_ Application ID: WSDP # \_\_\_\_\_

LAUREL RIDGE DEVELOPMENT INC.

450 OAKRIDGE CMNS  
SOUTH SALEM, NY 10590-2438

Wells Fargo Bank N.A.

51-110-211

10/30/2014

PAY TO THE ORDER OF Town of Lewisboro

\$\*\*205.00

Two Hundred Five and 00/100\*\*\*\*\*

DOLLARS

AUTHORIZED SIGNATURE

MEMO  
PB Application

⑈0000 128 2⑈ ⑆0 2 1 10 1 108⑆ 74 75 15 7488⑈

Continued on back

**HOMELAND TOWERS  
117 WACCABUC RD.**

**Cal# 85-13WP**

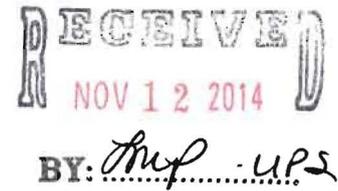


# Homeland Towers, LLC

22 Shelter Rock Lane  
Danbury CT 06810  
Phone 203-297-6345  
Fax 203-797-1137

November 10, 2014

Sent via email and overnight UPS



Chairman Jerome Kerner and Members of the Planning Board  
Town of Lewisboro  
20 Cross River Shopping Center at Orchard Square  
Suite L, Lower Level  
Cross River, NY 10518

RE: Extension of Special Use Permit & Wetland Permits - HOMELAND TOWERS, LLC AND  
NEW CINGULAR WIRELESS PCS, LLC (AT&T)  
117 WACCABUC ROAD (NYS ROUTE 138) Sheet 11, Block 11137, Lots 35 & 52, Cal. #5-12 P.B

Dear Chairman Kerner and Members of the Planning Board,

Homeland Towers respectfully requests an extension of (6) months in regards to the wetland permit. The wetland mitigation work is substantially complete. The Wetland Creation Area has been graded, wetland topsoil placed to final grade and wetland plantings installed. The Wetland Adjacent Areas Enhancement work, including herbicide treatment of invasive plants and installation of native plantings has been completed along with the under sowing of mitigation areas with appropriate native seed mixes, mulching and placement of coarse woody debris. An inspection with town staff is tentatively scheduled for 11/14/14. Considering the wetland permit will expire on December 11, 2014 and an extension of the permit is required 30 days in advance, this six (6) month extension is requested as a contingency if all final work cannot be completed by the 12/11/14 deadline.

It is our understanding that the existing Special Use Permit Approval is valid from a period not to exceed five (5) years from the date of December 12, 2012. However, should an extension be necessary to insure the extension of the Wetland Permit or any other Conditions, please allow this letter serve as a request for that extension. We have been unable to get AT&T to confirm an installation date at this time and therefore a final Certificate of Occupancy cannot be issued.

Thank you for your kind consideration.  
Should you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Raymond Vergati". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Raymond Vergati  
Site Development Manager  
203-605-9646  
[rv@homelandtowers.us](mailto:rv@homelandtowers.us)

C: Jan Johannessen, Kellard Sessions Consulting  
Margaret A. Clark, Esq

**ARIAS /LEXUS COVER**

**9-04PB**

# Site Design Consultants

Civil Engineers • Land Planners

October 30, 2014

Chairman Jerome Kerner, AIA  
Members of the Lewisboro Planning Board  
c/o Ms. Lisa Pisera, Secretary, Planning Board  
Cross River Shopping Center at Orchard Square  
Suite L – Lower Level  
20 North Salem Road  
Cross River, NY 10518

RECEIVED  
OCT 30 2014

BY: *Imp. hand del.*

Re: Arias / Lex Holding Company Ltd.  
2-lot subdivision – 411 Smith Ridge Road

Dear Chairman Kerner and Members of the Planning Board:

We are in receipt of the review memo dated December 11, 2013 from Jan K. Johannessen, AICP, and Joseph M. Cermele, P.E., CFM of Kellard Sessions Consulting, P.C., for this project. We have reviewed these comments, updated the plans accordingly and addressed each item as enumerated below:

#### Required Approvals:

1. Preliminary Approval was received February 25, 2014; and the project was granted an approval extension to November 18, 2014.
2. A public hearing was opened and closed for Preliminary Approval on February 25, 2014;
3. A Town Stormwater Permit Application is included with this submission.
4. The subdivision application to the WCHD was submitted to the Health Department on October 15, 2014. A copy of the approval will be submitted to the Town when the approval is obtained.
5. The current NYS DOT driveway approval for Lot 2 has expired, and we have requested and are awaiting the approval extension from Stuart Sprague's office.
6. There is less than one acre of disturbance, therefore there is no permit required from the NYS DEC.

#### Planning and Engineering Comments:

1. At this subdivision stage, the WCHD does not require full details of the septic system. What is required is to demonstrate the configuration of the septic fields. However, we have provided approximate locations to where septic tanks and connection lines have been located.
2. It has been indicated on the plan that the lean-to shed will be removed by hand and no disturbance is to be created.
3. The limits of disturbance have been expanded on lot 1 to include the items noted.
4. This document is still in the process of being prepared and is not available at the time of this submission.
5. The Zoning Schedule needs to be revised upon verification of setbacks information.
6. A 60' x 100' building envelope has been placed over the proposed house footprint on lot 2.



Chairman Jerome Kerner, AIA  
Members of the Lewisboro Planning Board  
October 30, 2014  
Page 2 of 2

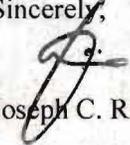
7. The storm pipe size on the improvement plan has been coordinated with the NYS DOT MPT plan. The profiles have been modified to indicate they refer to lot 2.
8. A contiguous holdings map will be provided under separate cover.
9. Copies of the report are enclosed with this submission.
10. The haybales have been eliminated from the plan.
11. The stabilized construction entrance for lot 1 has been relocated as suggested.
12. A typical monument detail has been provided.
13. See DeLalla & Associates plan SP-1.
14. Deeds will be submitted under separate cover.
15. The signature block has been added to the Plan.

As required, we have enclosed eleven packages each containing the following items:

- Final Subdivision Plat Approval Application;
- Town Stormwater Permit Application;
- Affidavits of Ownership from Guillermo Arias and Lex Holding Company, Ltd.;
- Tax Payment Affidavit Requirement forms from Guillermo Arias and Lex Holding Company, Ltd.;
- See the Engineer's Report dated October 30, 2014.
- "Final Subdivision Plat" prepared for Arias/Lex Holding Company Ltd, last revised September 29, 2014;
- Plans titled "Proposed Subdivision Plan Prepared for Arias / Lex Holding Company, LLC" dated 11/18/2002, last revised 10/29/14, Sheets 1-3 of 3;
- DeLalla & Associates updated plans last revised 10/17/14;

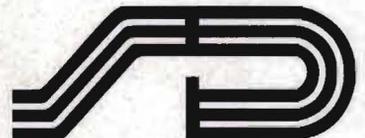
We are providing this submission by the October 30 deadline date for the November 18 Planning Board Meeting. Please review these items in this submission and contact us if you have any questions. Please place this project on the Planning Board Meeting agenda. Thank you.

Sincerely,

  
Joseph C. Riina, P.E.

Cc: G. Arias  
Lex Holding Co., Ltd.  
DeLalla & Associates

JCR/cm/Enc./sdc 02-20



**FILE COPY**

**RECEIVED**  
NOV 05 2014

BY: *ms*

**Engineer's Report**

Prepared for

Guillermo Arias  
411 Smith Ridge Road  
South Salem, NY 10590  
&  
Lexus Holding Co., LTD.  
Paul Guillaro, Pres.  
3102 Route 9  
Cold Spring, NY

Sheet 162 Block 9834 Lots 50

Prepared by

Site Design Consultants  
251-F Underhill Avenue  
Yorktown Heights, NY 10598

Dated:

October 29, 2014

Revised October 31, 2014



**Prepared for**

**Guillermo Arias  
411 Smith Ridge Road  
South Salem, NY 10590  
&  
Lexus Holding Co., LTD.  
Paul Guillaro, Pres.  
3102 Route 9  
Cold Spring, NY**

**Sheet 162 Block 9834 Lots 50**

**Prepared by**

**Site Design Consultants  
251-F Underhill Avenue  
Yorktown Heights, NY 10598  
914-962-4488**

**Joseph C. Riina, P.E.  
NYS Lic. No. 64431**



**Dated:**

**October 29, 2014  
Revised October 31, 2014**

**Table of Contents**

Section I	Engineer's Report
Section II	Sizing Calculations
Section III	Project Plans

**Section I**

---

**Engineer's Report**

**Engineer's Report****Prepared for**

**Guillermo Arias  
411 Smith Ridge Road  
South Salem, NY 10590  
&  
Lexus Holding Co., LTD.  
Paul Guillaro, Pres.  
3102 Route 9  
Cold Spring, NY**

It is proposed by Arius / Lexus to process a two lot subdivision. The property is comprised of two tax lots totaling 17.71 acres, which were not formerly created under the Town and County subdivision requirements. It is now proposed to formerly subdivide the two lots. The property is currently zoned R-2A Single-Family Residential. The site currently is developed with an existing residence and several out buildings. The home and other buildings are positioned on the northwest corner of the property. The front portion of the proposed new lot where the development is to take place is primarily meadow. There is a light stand of trees along the road frontage. The front of the site is gently to moderately upwardly sloped to a high point where it then slopes downward to a hollow where there is a wetland which has both NYS DEC and Town jurisdiction. Beyond the wetland the property slopes up more steeply to a higher elevation. The proposal does not require any wetland permits. The new lot will be designed with a proposed well for domestic water supply and subsurface wastewater treatment system (OWTS). As stated it is proposed to create an approved new lot in accordance with the rules and regulations of the Town of Lewisboro and Westchester County department of Health.

The proposed subdivision will create two lots which will be in conformance with the zoning standards for the R-2A zone. Lot 1 which will contain the existing home and structures will have an area of 5.00 acres. There are no additional improvements proposed at this time for this lot. Lot 2 which is the new lot will have an area of 12.71 acres. It is proposed to construct a single family residence, sewage disposal system, well and stormwater management system on this lot. The new home is proposed to be placed on a highpoint. The OWTS will be in the front portion of the site between the house and the road. As stated this area is currently meadow. The stormwater management system and well will be to the rear of the house. The total disturbance for the proposed project is approximately 30,000 s.f. The property is located in the watershed of the Stamford Water Supply. Since the project disturbance is less than one acre, the filing of a Notice of Intent with the NYS DEC for compliance with General Permit 00-10-001 is not required. However, since there are more than 5,000 s.f. of disturbance the project needs to comply with the provisions of the Town of Lewisboro Code Chapter 189 Stormwater Management and Erosion and Sediment Control. This requires preparing a basic Stormwater Pollution Prevention Plan

and Sediment Control. This requires preparing a basic Stormwater Pollution Prevention Plan (SWPPP) and to address stormwater runoff increases at the discretion of the Town Engineer. The project has been discussed informally with the Town Engineer. Based on the proposed improvements and other considerations such as constraints it has been determined that in this case the roof runoff from a 25-year storm off the proposed residence will be captured and infiltrated. This will be done using Stormtech 740 Infiltrator units. The infiltration will not only provide for full recharge of the runoff volume it will also provide the best attainable water quality treatment. The runoff generated from the driveway will be conveyed through a minimally sloped low velocity vegetated swale which will provide attenuation as well as water quality treatment. Therefore, all of the proposed impervious areas will receive stormwater management for generated runoff. Since the surface treatment of the areas around the proposed residence will change from meadow to grass lawn there will be no significant increase in surface runoff.

Construction activities for the project will be managed so as to not transport any sediment or contaminants off-site toward Smith Ridge Road or adjoining properties. An Erosion and Sediment Control Plan has been prepared which gives guidance to the site contractor in maintaining stable site conditions during construction. This is done by installing erosion and sediment control practices such as silt fence, construction entrance stabilization, and soil stockpile management. In addition a general sequence is also provided so the contractor can implement sound construction procedures and practices. This is detailed in the construction drawings.

A stormwater analysis has been performed and a Stormwater Management System has been designed to provide for water quality treatment and the detention of stormwater. The basis of analysis was to capture, treat and retain the 25-year storm event with a runoff depth of 6.0" from the proposed residence. Based on this criteria the runoff which is to be captured and retained for an 2000 s.f. residence with a 400 s.f. patio and walks is:  $2,400 \times 6.0" / 12 = 1200$  c.f. To manage this volume 13 infiltrator units are required. At the time that it is formally proposed to construct a residence these calculations would be modified according to the house that is actually proposed. The runoff from the driveway was calculated using the Graphical Peak Method for a Type III 25 year storm. The peak discharge was determined to be 0.42 cfs. The swale as proposed will accommodate this peak rate of discharge. The calculations are based on standard methodology contained within the NYS DEC SMDM. The practice chosen is not only designated in the Manual as a standard practice, but also a green infrastructure practice. Details of the infiltration system are provided within the construction drawings. The supporting calculations are contained within this report.

In conclusion, the stormwater management systems proposed provides adequate treatment of stormwater and attenuation of surface runoff to meet the Town Code requirements. Stormwater runoff generated from the project will be properly managed and will not have a negative impact on the Smith Ridge Road drainage system or adjoining properties.

Joseph C. Riina, P.E.  
NYS Lic. No. 64431

## **Section II**

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### **Sizing Calculations**



Units: **Imperial**

Project: Arias - Lexus

By: Joseph C. Riina, P.E.

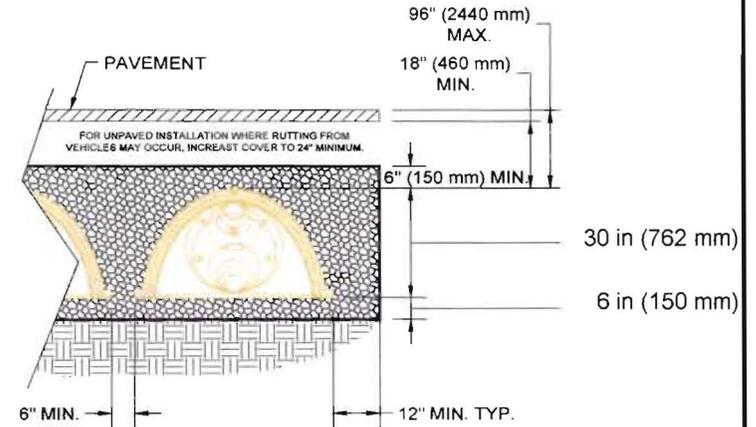
Point of Contact

Date:

29-Oct-14

**System Requirements**

Required Storage Volume	<b>1,200</b> CF
Select Stormtech Chamber System	SC-740
Stone Porosity (Industry Standard = 40%)	<b>40%</b>
Stone Foundation Depth	<b>6</b> Inches
Storage Volume Per Chamber	74.90 CF
Avg Cover over Chambers (18 in min. & 96 in max.)	<b>12</b> Inches
<i>Check to ensure correct value and units are used for the cover</i>	
Number of Chambers Required	17 Each
Required Bed Size	702 SF
Tons of Stone Required	87 Tons
Volume of Excavation	104 CY
Area of Filter Fabric	233 SY
# of End Caps Required	8 Each
Length of ISOLATOR ROW	35.6 FT
ISOLATOR FABRIC	20 SY



Is the limiting dimension for the bed the width or length? **length**

**Controlled by Width (Rows)**

**Controlled by Length**

Width	<b>50</b> FT
# of Chambers Long	- EA
# of Rows	- EA
Actual Length	- FT
Actual Width	- FT

Length	<b>45</b> FT
<i>You have switched between Imperial and Metric Units please check to ensure correct width is entered for the units shown above. Also check input data for cover over chambers and foundation depth.</i>	
# of Chambers Long	5 EA
# of Rows	4 EA
Actual Length	39.20 FT
Actual Width	20.50 FT

**3 of the chambers rows will contain only 4 chambers**

**Material Estimate**

**To use this sheet: Please enter data into the blue and green cells. If switching between Imperial and Metric units please check the correct units and data is input in the green cells.**

*Please call StormTech @ 888-892-2694 for conceptual cost estimates.*

Graphical Peak Discharge method

Given Input Data:

Description ..... Arius/Lexus Subdivision Runoff From Proposed Driveway - 25 Year  
 Rainfall distribution ..... Type III  
 Frequency ..... 1 year  
 Rainfall, P (24-hours) ..... 6.0000 in  
 Drainage area ..... 0.0710 ac  
 Runoff curve number, CN ..... 98  
 Time of concentration, Tc ..... 6.0000 min  
 Pond and Swamp Areas ..... 0.0000 % of Area

Computed Results:

Initial abstraction, Ia ..... 0.0408 in  
 Ia/P ..... 0.1000  
 Unit peak discharge, qu ..... 661.9421 csm/in  
 Runoff, Q ..... 5.7619 in  
 Pond and swamp adjustment, Fp ... 1.0000  
 Peak discharge, qp ..... 0.4231 cfs

Channel Calculator

Given Input Data:

Shape ..... Trapezoidal  
 Solving for ..... Flowrate  
 Slope ..... 0.0100 ft/ft  
 Manning's n ..... 0.0400  
 Depth ..... 0.5000 ft  
 Height ..... 0.5000 ft  
 Bottom width ..... 0.0000 ft  
 Left slope ..... 0.6670 ft/ft (V/H)  
 Right slope ..... 0.6670 ft/ft (V/H)

Computed Results:

Flowrate ..... 0.4888 cfs  
 Velocity ..... 1.3041 fps  
 Full Flowrate ..... 0.4888 cfs  
 Flow area ..... 0.3748 ft<sup>2</sup>  
 Flow perimeter ..... 1.8022 ft  
 Hydraulic radius ..... 0.2080 ft  
 Top width ..... 1.4993 ft  
 Area ..... 0.3748 ft<sup>2</sup>  
 Perimeter ..... 1.8022 ft  
 Percent full ..... 100.0000 %

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**Section III**

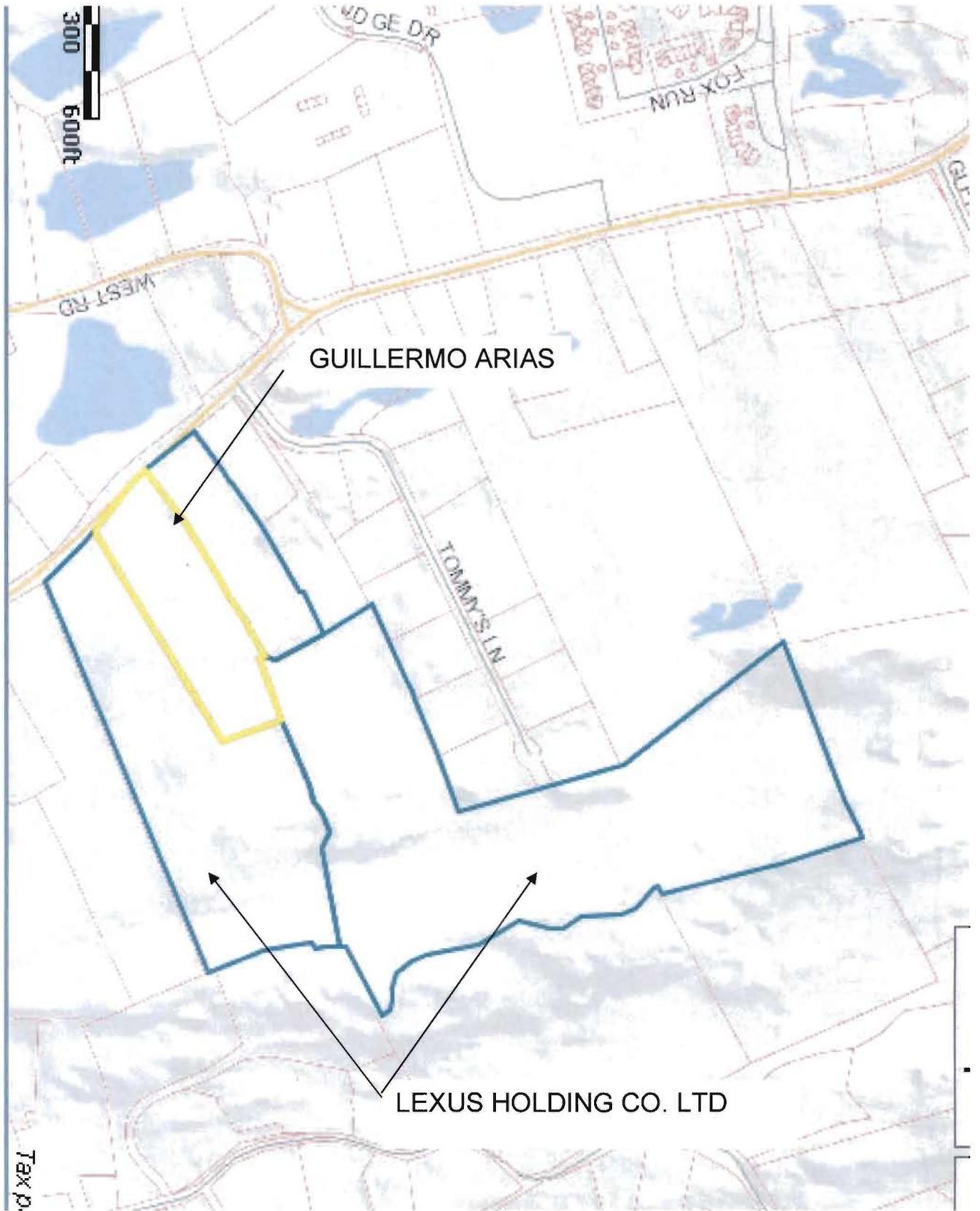
**Project Plans**

FILE COPY

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NOV 05 2014

BY: *mf*

### Continuous Holdings Map – Arias - Lexus



RECEIVED  
OCT 30 2014

TOWN OF LEWISBORO PLANNING BOARD  
P. O. Box 725, Cross River, New York 10518 TEL (914) 763-5592 / FAX (914) 763-3637  
e-mail [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

BY: .....

**STEP III: APPLICATION FOR FINAL SUBDIVISION PLAT APPROVAL**

Arias / Lex Holding Co. Ltd.		R-2A	
project name	zoning district		
411 Smith Ridge Road	50	9834	28 & 162
site location	tax sheet	block	lot
17.7 +/- site acreage	Is the site located within 500 FT of any Town boundary?		YES ___ NO <u>X</u>
2 number of proposed lots	Is the site located within the New York City Watershed?		YES ___ NO <u>X</u>
N/A length of new streets	Is the site located on a State of County Highway? Route # 123		YES <u>X</u> NO ___
Joseph C. Riina, P.E. Site Design Consultants, 251-F Underhill Ave., Yorktown NY 10598 962-4488			
engineer's name	address	phone	
Jeffrey DeRosa, L.S.	DeRosa Surveying, 301 Fields Lane, Brewster, NY 10509	945-277-3404	
surveyor's name	address	phone	

ALL SUBMITTED PLANS AND DOCUMENTS SHALL BEAR AN ORIGINAL SIGNATURE, SEAL AND LICENSE NUMBER OF THE PROFESSIONAL RESPONSIBLE FOR PREPARING EACH ITEM. ALL PLANS SHALL BE EQUAL IN SHEET SIZE, COLLATED INTO STAPLED FOLDED SETS. THIRTEEN (13) COMPLETE SETS ARE REQUIRED.

**THE FOLLOWING MATERIALS SHALL BE ATTACHED:**

2/25/14 approval extended to 11/18/14

- DATE OF PRELIMINARY SUBDIVISION PLAT APPROVAL: \_\_\_\_\_
- FINAL SUBDIVISION PLAT per Section 195-16 and Appendix A-5 of the Land Subdivision Regulations.
- FINAL CONSTRUCTION PLAND per Section 195-16 and Appendix A-6 of the Land Subdivision Regulations.
- FORMAL OFFER OF CESSION of public streets, parks or easements per Appendix B of the Land Subdivision Regulations.
- PROPOSED LEGAL INSTRUMENTS of private easements (drainage, sight, common driveway, etc.)
- CERTIFIED ENGINEER'S COST ESTIMATE of all site improvements subject to bonding.
- WETLAND DELINEATION per chapter 217 Wetlands and Watercourses Law, with NYSDEC endorsement where appropriate.
- WETLAND ACTIVITY PERMIT APPLICATION FORM complete if any wetlands / 100-foot buffer activity is proposed.
- COMPLETED AFFIDAVIT OF OWNERSHIP FORM certifying owner of record as of date of the application.
- COMPLETED AFFIDAVIT FORM RECEIVER OF TAXES certifying payment of all taxes and assessments due.
- FILING FEE: See attached Application Fee Schedule. Check(s) are payable to: *Town of Lewisboro.*

THE APPLICANT understands that any application is considered complete only when all information and documents required have been Submitted and received by the Planning Board and further understands that the applicant is responsible for the payment of all application and Review fees incurred by the Planning Board. THE UNDERSIGEND WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

Guillermo Arias	411 Smith Ridge Road, So. Salem, NY (533-5157)			
applicant's name	address	phone	signature	date
Lex Holding Corp	3102 Rte 9 Cold Spring NY 10516	809-5969	<i>Paul J. Dine</i>	10/28/14
owner's name	address	phone	signature	date

Date of receipt by Planning Board Secretary \_\_\_\_\_ Application ID: SUB # \_\_\_\_\_

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK

**CASHIER'S CHECK**

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK



Date 04/23/2014

9850706050 25-3 440

Remitter: ARIAS LANDSCAPING CORPORATION

Pay To The TOWN OF LEWISBORO  
Order Of:

Pay: ONE HUNDRED FIFTY FIVE DOLLARS AND 00 CENTS

\$\*\* 155.00 \*\*

Do not write outside this box  
Memo:  
Note: For information only. Comment has no effect on bank's payment.

Drawer: JPMORGAN CHASE BANK, N.A.

*[Signature]*  
Senior Vice President  
JPMorgan Chase Bank, N.A.  
Columbus, OH



⑈9850706050⑈ ⑆044000037⑆ 758661433⑈

28211107 NEW 01/08 8810004306

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK

**CASHIER'S CHECK**

HOLD DOCUMENT UP TO THE LIGHT TO VIEW TRUE WATERMARK



Date 04/23/2014

9850706049 25-3 440

Remitter: ARIAS LANDSCAPING CORPORATION

Pay To The TOWN OF LEWISBORO  
Order Of:

Pay: THREE HUNDRED SEVENTY FIVE DOLLARS AND 00 CENTS

\$\*\* 375.00 \*\*

Do not write outside this box  
PLANNING BOARD  
APPLICATION FINAL SUBDIVISION  
Memo:  
Note: For information only. Comment has no effect on bank's payment.

Drawer: JPMORGAN CHASE BANK, N.A.

*[Signature]*  
Senior Vice President  
JPMorgan Chase Bank, N.A.  
Columbus, OH



⑈9850706049⑈ ⑆044000037⑆ 758661433⑈

RECEIVED  
OCT 30 2014

BY: JWP - Hand del.

Application No.: 13-14 SW

Fee: 155.00 Date: 10/30/14

TOWN OF LEWISBORO  
STORMWATER PERMIT APPLICATION

Chase Cashier's Check  
9850706050  
recpt #597508

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518  
Phone: (914) 763-5592  
Fax: (914) 763-3637

**Project Information**

Project Address: 411 Smith Ridge Road, So. Salem

Sheet: 50 Block: 9834 Lot(s): 28 & 162

Project Description (describe overall project including all proposed land development activities):  
\_\_\_\_\_  
\_\_\_\_\_

**Owner's Information**

Lot 28 / Lot 162  
Owner's Name: Guillermo Arias / Lex Holding Co. Phone: 914-533-5157  
411 Smith Ridge / 3102 Route 9, Cold Spring  
Owner's Address: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant's Information** (if different)

Applicant's Name: Same as Owner Phone: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_

**Authorized Agent's Information**

Agent's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Agent's Address: \_\_\_\_\_ Email: \_\_\_\_\_

**To Be Completed By Owner/Applicant/Agent**

- The approval authority is? (see §189-5 of the Town Code)  
 Town Engineer and SMO  Planning Board
- Is the project located within the NYCDEP Watershed?  Yes  No
- Total area of proposed disturbance:  5,000 s.f. - < 1 acre  ≥ 1 acre
- Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?  Yes  No  Requires post-construction stormwater practice
- Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: WCDOH, NYSDOT

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner/Applicant Signature: [Signature]

Date: 10/28/14

Owner/Applicant Signature: [Signature]

Date: 10/30/14

RECEIVED  
OCT 30 2014

AFFIDAVIT OF OWNERSHIP

BY: imp

STATE OF )  
COUNTY OF ) ss:

Guillermo Arias, being duly sworn, deposes and says that

she/he resides at 411 Smith Ridge Road, South Salem, NY

in the County of: Westchester

State of: New York

And that she/he is (check one) (1) the owners, or (2) the \_\_\_\_\_  
Title

of \_\_\_\_\_  
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and known and designated on the Tax Map in the Town of Lewisboro as Lot Number 28

Block 9834 on sheet 50

For (check one):

- SKETCH PLAN REVIEW     PRELIMINARY SUBDIVISION PLAT     FINAL SUBDIVISION PLAT
- SITE DEVELOPMENT PLAN     SPECIAL USE PERMIT     WAIVER OF SITE PLAN PROCEDURES
- WETLAND PERMIT     STORMWATER PERMIT     FILING WITH WESTCHESTER COUNTY CLERK

  
Signed

Sworn to before me this  
30<sup>th</sup> day of October, 2014

Catherine M. Mills  
Notary public (affix stamp)

CATHERINE M. MILLS  
Notary Public, State of New York  
No. 5002516  
Qualified in Westchester County  
Commission Expires 10/5/18

BY: JMF

AFFIDAVIT OF OWNERSHIP

STATE OF New York  
COUNTY OF Potnam ss:

Paul F Goillard, being duly sworn, deposes and says that  
she/he resides at 3102 Route 9, Cold Spring NY  
in the County of: Potnam

State  
of: New York

And that she/he is (check one) (1) the owners, or (2) the \_\_\_\_\_  
Title  
of Lex Holding Corp LTD  
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying  
and being in the Town of Lewisboro, New York, aforesaid and known and designated  
on the Tax Map in the Town of Lewisboro as Lot Number 162

Block 9834 on sheet 50

For (check one):

- SKETCH PLAN REVIEW     PRELIMINARY SUBDIVISION PLAT     FINAL SUBDIVISION PLAT
- SITE DEVELOPMENT PLAN     SPECIAL USE PERMIT     WAIVER OF SITE PLAN PROCEDURES
- WETLAND PERMIT     STORMWATER PERMIT     FILING WITH WESTCHESTER COUNTY CLERK

Paul J. Smith  
Signed

Sworn to before me this  
28<sup>th</sup> day of October, 2014

Diana Ferris  
Notary public (affix stamp)  
Notary public, State of New York  
Qualified in Dutchess County  
No. 01FE4960853  
Commission Expires January 2, 2018

RECEIVED  
OCT 30 2014

BY: mf

TAX PAYMENT AFFIDAVIT REQUIREMENT

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board Office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State Law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

INSTRUCTIONS

The applicant is to complete the information box below and return to: **Receiver of Taxes, Town of Lewisboro, 11 Main Street, South Salem, New York 10590.**

For Planning Board applications, the Receiver of Taxes will return this form and the affidavit to the Planning Board Office. For filing actions with the Westchester County Clerk, Division of Land Records, the Receiver of Taxes will return this form and the affidavit to the applicant by mail if a stamped and self-addressed envelope is submitted with this form.

**IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.**

TO BE COMPLETED BY APPLICANT

(PLEASE TYPE OF PRINT)

<u>Guillermo Arias</u>		<u>Arias / Lex Holding Co. Ltd.</u>	
<i>name of applicant</i>		<i>project name</i>	
<i>property description:</i>	<i>property assessed to:</i>	<u>Guillermo Arias</u>	
<i>tax sheet</i> <u>50</u>	<i>name</i>	<u>411 Smith Ridge Road</u>	
<i>block</i> <u>9834</u>	<i>address</i>	<u>South Salem</u>	
<i>lot</i> <u>28</u>			
<i>application type (check one)</i>			
<input type="checkbox"/> Sketch Plan Review	<input type="checkbox"/> Preliminary Subdivision Plat	<input checked="" type="checkbox"/> final Subdivision Plat	
<input type="checkbox"/> Site Development Plan	<input type="checkbox"/> Special Permit Use	<input type="checkbox"/> Waiver of site Plan Procedures	
<input type="checkbox"/> Wetlands Permit	<input type="checkbox"/> Filing with The Westchester County Clerk		

NO OUTSTANDING TAXES ARE DUE:

Deirdre M. Cooper  
Receiver of Taxes

11/3/2014  
Date

Sworn before me this

3rd day of Nov. 2014  
Janet L. Donohue

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2016

RECEIVED  
OCT 30 2014

BY: Imp

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**IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.**

TO BE COMPLETED BY APPLICANT

(PLEASE TYPE OF PRINT)

<u>Paul Guillaro</u>		<u>Arias / Lex Holding Co. Ltd.</u>	
<i>name of applicant</i>		<i>project name</i>	
<i>property description:</i>		<i>property assessed to:</i>	<u>Lexus Holding Co. Ltd.</u>
<i>tax sheet</i>	<u>50</u>	<i>name</i>	<del>Guillermo Arias</del>
<i>block</i>	<u>9834</u>	<i>address</i>	<u>411 Smith Ridge Road</u>
<i>lot</i>	<u>162</u>		<u>South Salem</u>
<i>application type (check one)</i>			
<input type="checkbox"/> Sketch Plan Review	<input type="checkbox"/> Preliminary Subdivision Plat	<input checked="" type="checkbox"/> final Subdivision Plat	
<input type="checkbox"/> Site Development Plan	<input type="checkbox"/> Special Permit Use	<input type="checkbox"/> Waiver of site Plan Procedures	
<input type="checkbox"/> Wetlands Permit	<input type="checkbox"/> Filing with The Westchester County Clerk		

NO OUTSTANDING TAXES ARE DUE: *Christy Cooper* Receiver of Taxes      *11/3/2014* Date

Sworn before me this *3rd* day of *Nov*, 20*14*  
*Janet L. Donohue*

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2016

**MEMORANDUM**

TO: Chairman Jerome Kerner, AIA and  
Members of the Lewisboro Planning Board

CC: Aimee Hodges  
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: November 12, 2014

RE: Arias/Lexus Subdivision  
Smith Ridge Road (Route 123)  
Sheet 50, Block 9834, Lots 28 & 162

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**Project Description**

The applicants, Guillermo Arias and Lexus Holding Company, LLC, are proposing a 2-lot subdivision on  $\pm 17.7$  acres of land located on Smith Ridge Road (NYS Route 123) and within the R-2A Zoning District. The two (2) existing tax lots were created by deed and the applicants are now proposing to legalize the formation of the lots by obtaining subdivision approval from the Planning Board. Lot 1, owned by Guillermo Arias, is proposed to consist of  $\pm 5.001$  acres of land and will contain an existing single-family residence, asphalt driveway, detached garage, barn, septic system and potable water well; a new septic system is also proposed on Lot 1. Lot 2, owned by Lexus Holding Company, LLC, is proposed to contain  $\pm 12.7$  acres of land, a proposed single-family residence, paved driveway, septic system, potable water well and stormwater improvements. The applicant is also proposing the establishment of a 20-foot wide landscape buffer area along the existing street frontage of Smith Ridge Road.

On February 25, 2014, the Planning Board issued a Negative Declaration of Significance and granted Preliminary Subdivision Plat Approval, subject to conditions.

Chairman Jerome Kerner, AIA

November 12, 2014

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### **Required Approvals**

1. Preliminary Subdivision Plat Approval was granted by the Planning Board on February 25, 2014; Final Subdivision Plat Approval is required from the Planning Board.
2. Unless waived by the Planning Board, a public hearing is required to be held on the Final Subdivision Plat.
3. A Town Stormwater Permit is required from the Planning Board in accordance with Chapter 189, Stormwater Management and Erosion and Sediment Control, of the Town Code.
4. Realty Subdivision Approval and individual septic system approval (Lot 1) is required from the Westchester County Department of Health (WCDH).
5. The proposed driveway associated with Lot 2 requires approval from the New York State Department of Transportation (NYSDOT).
6. The project will require coverage under the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).

### **Planning and Engineering Comments**

1. We note that Conditions #3, #5, #6, #7, #8, #9, #11 and #12 of the Planning Board's February 25, 2014 Resolution have not been satisfied; the drawing shall be revised accordingly.
2. The building envelope illustrated on the construction drawings shall be illustrated on the plat; the following note shall be added to the subdivision plat and to the construction drawings: "The residence proposed on Lot 2 shall be located within the building envelope shown hereon".
3. Notes on the plan indicate that a deed restricted area is proposed on Lot 1; the limits of the proposed restricted area shall be clearly illustrated on the construction drawings and subdivision plat and all legal documents associated with the deed restriction shall be submitted for review.

Chairman Jerome Kerner, AIA

November 12, 2014

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4. The rear yard setback associated with proposed Lot 1 is not consistently identified on the plat and construction drawings; the Bulk Zoning Table on the Plat and on Sheet SP-1 shall be revised accordingly.
5. The "Improvement Plan" (Sheet 1 of 3) and the "Subdivision Construction Plan" (SP-1) shall be revised to note and clarify the portion of the existing gravel driveway to be removed on Lot 1.
6. The culvert crossing for the driveway entrance to Lot #2 shall be coordinated on all plans prepared by DeLalla & Associates, LLC and Site Design Consultants. The culvert size is shown at various sizes (15-inch, 18-inch and two, 8-inch pipes) and lengths. Please confirm that the proposed finished grade for the drive will provide adequate cover for the culvert. Given the current configuration, this does not appear to be the case.
7. The driveway profiles included by the NYSDOT Maintenance and Protection Plan shall be to scale.
8. The Engineer's Report has been revised, as previously requested, to size the proposed infiltration system with a reasonable expectation for added impervious surfaces (i.e., larger house footprint, patio, walks, etc.). The Stormwater Pollution Prevention Plan (SWPPP), however, indicates  $\pm 30,000$  s.f. of disturbance for the project, while plans prepared by DeLalla & Associates, LLC note an overall disturbance of  $\pm 58,280$  s.f. The disturbance area shall be coordinated and corrected on the plans and SWPPP, as needed. Should the disturbance area exceed one (1) acre, the applicant will be required to obtain coverage under NYSDEC GP-0-10-001 and draft copies of the Notice of Intent (NOI) and MS4 Acceptance Form shall be submitted for review.
9. The most current deeds associated with both lots shall be submitted.
10. The following signature block shall be included on the subdivision plat:

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_.

\_\_\_\_\_  
Joseph M. Cermele, P.E., CFM  
Kellard Sessions Consulting, P.C.  
Town Consulting Engineer

\_\_\_\_\_  
Date

Chairman Jerome Kerner, AIA  
November 12, 2014  
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In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**Plans Reviewed, prepared by Site Design Consultants and dated (last revised) October 29, 2014:**

- Improvement Plan (1 of 3)
- NYSDOT M.P.T. Plan (2 of 3)
- Improvement Details (3 of 3)

**Plans Reviewed, prepared by DeLalla & Associates, LLC and dated (last revised) October 17, 2014:**

- Subdivision Construction Plan (SP-1)
- Erosion & Sedimentation Control Plan (SP-2)
- Existing Conditions/Wetland Plan (EX-1)
- 

**Documents Reviewed:**

- “Final Subdivision Plat”, prepared by Bunney Associates and dated (last revised) September 29, 2014
- Letter from Site Design Consultants, dated October 30, 2014
- Engineer’s Report, prepared by Site Design Consultants and dated October 29, 2014
- Step III: Application for Final Subdivision Plat Approval
- Stormwater Permit Application

JKJ/JMC/dc