

ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, September 30, 2015 at 7:30 P.M., at the Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza, Lower Level, 20 North Salem Road, Cross River, New York 10518 regarding the following:

CAL. NO. 26-15-BZ

Application of Michael Fuller Sirignano, Esq., Old Post Road Professional Building, 892 Route 35, Cross River, New York 10518 [Susan Rotondi, 66 Mark Mead Road, Cross River, NY 10518, owner of record] for a variance of Article IV § 220-23D(8)(d) of the Zoning Ordinance in the matter of the storage of manure required to be stored 150' from the street, property line, watercourse or wetland area (7.5 from the side yard existing) in the R-1/2A, One-Half-Acre Residential District.

The property is located on the south side of (#66) Mark Mead Road and designated on the Tax Map as Sheet 20, Block 10536, Lot 15, in the R-1/2A, One -Half-Acre Residential District.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza: (PO Box 725) Lower Level, 20 North Salem Road, Cross River, New York 10518 during regular business hours. At such Hearing, all interested parties may attend and will be heard.

Dated this 17th day of September, 2015
in Cross River, New York

ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: **ROBIN PRICE, JR.**
CHAIRMAN

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

TOWN OF LEWISBORO
P. O. Box 725
20 North Salem Road, Cross River, New York 10590

APPLICATION TO THE BOARD OF APPEALS

*Cal. No. 26-15- (B.Z.) **Cal. No. (S.P.)

I. IDENTIFICATION OF APPLICANT & PROPERTY OWNER

Applicant's Name: Michael Fuller Sirignano, Esq. Phone: (914) 763-5500
Address: Old Post Road Professional Bldg, 892 Rte 35, Cross River, New York 10518 E-Mail: michael@sirignano.us
Owner's Name: SUSAN ROTONDI Phone: (914) 763-3092
Address: 66 Mark Mead Road, Cross River, NY 10518 E-Mail:

II. TO THE ZONING BOARD OF APPEALS OF THE TOWN OF LEWISBORO:

Application is hereby made for:

- X A Variation of Article IV Section 220-230(s)(d) of the Zoning Ordinance.
A Special Permit pursuant to Article Section of the Zoning Ordinance.
An Interpretation of the Zoning Ordinance or Zoning Map.
A Variation of Section 280 (a) of the Town Law.
An appeal from an Order of the Building Inspector to correct a Violation of the Housing Code Section
(Other)

AND FURTHER DESCRIBED AS FOLLOWS: In the matter of a manure dumpster which is too close to property line (75 feet where 150 feet is required).

III. IDENTIFICATION OF PROPERTY:

Location of Affected Premises: 66 Mark Mead Road, Cross River, NY 10518
Tax Map: Sheet 20 Block 10536 Lot(s) 15
Zoning District: R-1/2 Lot Area: 3.011 Acres

IV. ADDITIONAL INFORMATION

Have previous appeals/special permits been filed in regard to these premises? No
(If yes, please give calendar number & date)

Cal. No. Date Cal. No. Date
Cal. No. Date Cal. No. Date

Has a court summons been served relative to this matter? No

Have you inquired of the Clerk of the Town of Lewisboro whether there is any petition pending to change the use district regulations affecting the block on which these premises are located? Yes None

Attached hereto and made a part of this application, I submit the following:

- A copy of the ground and floor plans with all necessary measurements.
A property survey.
A signed consent by the owner of the property if the applicant is not the owner.

V. APPROVED FOR SUBMISSION:

Applicant's Signature: [Signature] Date: 4/28/15

VI. RECEIPT:

Date Received by Clerk Fee Received \$ 252.00
Check #: 454 Receipt #: 2188

* EXPIRATION: (§ 220-74E(5)) "A variance shall be deemed to authorize only the particular use or uses specified in the decision, and unless other provisions are set forth by the Zoning Board of Appeals in connection with their decision, shall expire if work is not initiated pursuant thereto within one (1) year, of if said use or uses shall cease for more than one (1) year."

**Storage of Contractor's Equipment requires an additional fee for each required off-street parking space.

*** Accessory Apartment applications will also require an additional fee for filing the legal instrument with Westchester County.

AFFIDAVIT OF OWNERSHIP

State of New York,
County of Westchester Susan Rotondi being duly sworn, deposes
and says that he resides at in the Town of Lewisboro
in the County of Westchester in the State of New York
and that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the
Town of Lewisboro, N.Y., aforesaid and known and designated on the Tax Map as Lot Number
in Block 10536 on Sheet and that he hereby authorizes
Michael Fuller Sirignano, Esq. to make the annexed application in his behalf
and that the statements of fact contained in said application including the statements contained in all
of the exhibits transmitted herewith are true.

Sworn to before me, this 28th
day of April, 2015

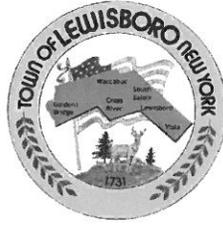
x Susan Rotondi
(sign here)
Susan Rotondi (over)

Constance Paganelli
CONSTANCE PAGANELLI
Notary Public, State of New York
No. 60-8255040
Qualified in Westchester County Dutchess Co.
Commission Expires January 31, 2009 2019

OFFICE OF BUILDING INSPECTOR
SOUTH SALEM, N. Y. 10590

TOWN OF LEWISBORO
WESTCHESTER COUNTY, N.Y.

Telephone
914-763-3060



ORDER TO REMEDY VIOLATION

Complaint #: 0200-15

To ROTONDI,SUSAN

Site Address:66 MARK MEAD RD.

Sheet/Block/Lot: 10536-015-0020

66 MARK MEAD RD.
CROSS RIVER NY 10518

PLEASE TAKE NOTICE there exists a violation of the following New York State and/or Town of Lewisboro Codes:

VIOLATIONS LISTING

Ordinance Code

Violation Date

Corrected Date

220-23A(4)(a) Manure - Manure storage.

3/23/2015

Ordinance Code Full Description:

No storage of manure or any other odor or dust producing substance shall be permitted within 150 feet of a street, property line, watercourse, or wetlands area.

At premises herein described in that:

Horse Manure in Dumpster Too Close to Property Line. Must be Minimum Of 150 ft.

YOU ARE THEREFORE DIRECTED AND ORDERED to comply with the law and to remedy the conditions above mentioned forthwith on or before: 4/23/2015

Failure to remedy the conditions aforesaid and to comply with the applicable provisions of law may result in further legal action.

PBAUER
Deputy Building Inspector

Date: 9/4/2015

**ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, September 30, 2015 at 7:30 P.M., at the Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza, Lower Level, 20 North Salem Road, Cross River, New York 10518 regarding the following:

CAL. NO. 27-15-BZ

Application of Jill & Craig Abolt, 23 Post Office Road, Waccabuc, NY 10597 for a variance of Article IV, §220-23D (11) of the Zoning Ordinance in the matter of the construction of an accessory building that will exceed 600 square feet (proposed 1568 square feet in floor area) in an R-2A, Two Acre Residential District.

The property is located on the north side of (#23) Post Office Road, and designated on the Tax Map as Sheet 25, Block 11155, Lot 132, in an R-2A, Two-Acre Residential District.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza: (PO Box 725) Lower Level, 20 North Salem Road, Cross River, New York 10518 during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 17th day of September, 2015
in Cross River, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIRMAN**

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Town of Lewisboro

P. O. Box 725

20 North Salem Road, Cross River, New York 10590

APPLICATION TO THE BOARD OF APPEALS

*Cal. No. 27-15- (B.Z.)

**Cal. No. (S.P.)

I. IDENTIFICATION OF APPLICANT & PROPERTY OWNER

Applicant's Name: Jill + Craig Abbott Phone: 914-977-3835
Address: 23 Post Office Rd. PO Box 725 E-Mail: dogsrule522@gmail.com
Owner's Name: Jill + Craig Abbott Phone: 914-977-3835
Address: 23 Post Office Rd E-Mail: dogsrule522@gmail.com

II. TO THE ZONING BOARD OF APPEALS OF THE TOWN OF LEWISBORO:

Application is hereby made for:

- A Variation of Article 1V Section 220-23 D 220-23(d) of the Zoning Ordinance.
A Special Permit pursuant to Article Section of the Zoning Ordinance.
An Interpretation of the Zoning Ordinance or Zoning Map.
A Variation of Section 280 (a) of the Town Law.
An appeal from an Order of the Building Inspector to correct a Violation of the Housing Code Section
(Other)

AND FURTHER DESCRIBED AS FOLLOWS: Any Structure with 1568 sq ft floor area (2 floors) where 600 sq ft is max allowed

III. IDENTIFICATION OF PROPERTY:

Location of Affected Premises: 23 Post Office Rd
Tax Map: Sheet 25 Block 1155 Lot(s) 132
Zoning District: R2A Lot Area: 6.8 Acres

IV. ADDITIONAL INFORMATION

Have previous appeals/special permits been filed in regard to these premises? No

Cal. No. Date Cal. No. Date

Cal. No. Date Cal. No. Date

Has a court summons been served relative to this matter? No

Have you inquired of the Clerk of the Town of Lewisboro whether there is any petition pending to change the use district regulations affecting the block on which these premises are located? No

Attached hereto and made a part of this application, I submit the following:

- A copy of the ground and floor plans with all necessary measurements.
A property survey.
A signed consent by the owner of the property if the applicant is not the owner.

V. APPROVED FOR SUBMISSION:

Applicant's Signature: [Signature] Date: 8/24/15

VI. RECEIPT:

Date Received by Clerk 8/26/2015 Fee Received \$ 252.-

Check #: 2211 Receipt #: 26248

* EXPIRATION: (§ 220-74E(5)) "A variance shall be deemed to authorize only the particular use or uses specified in the decision, and unless other provisions are set forth by the Zoning Board of Appeals in connection with their decision, shall expire if work is not initiated pursuant thereto within one (1) year, of if said use or uses shall cease for more than one (1) year."

**Storage of Contractor's Equipment requires an additional fee for each required off-street parking space.

*** Accessory Apartment applications will also require an additional fee for filing the legal instrument with Westchester County.

AFFIDAVIT OF OWNERSHIP

State of New York, Jill Hood IT being duly sworn, deposes

County of Westchester and says that he resides at 23 Post Office Rd in the Town of Macomb

in the County of Westchester in the State of New York and that

he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the

Town of Lewisboro, N.Y., aforesaid and known and designated on the Tax Map as Lot Number

132 in Block 1155 on Sheet 25 and that he hereby authorizes

to make the annexed application in said application including the statements contained in all

of the exhibits transmitted herewith are true.

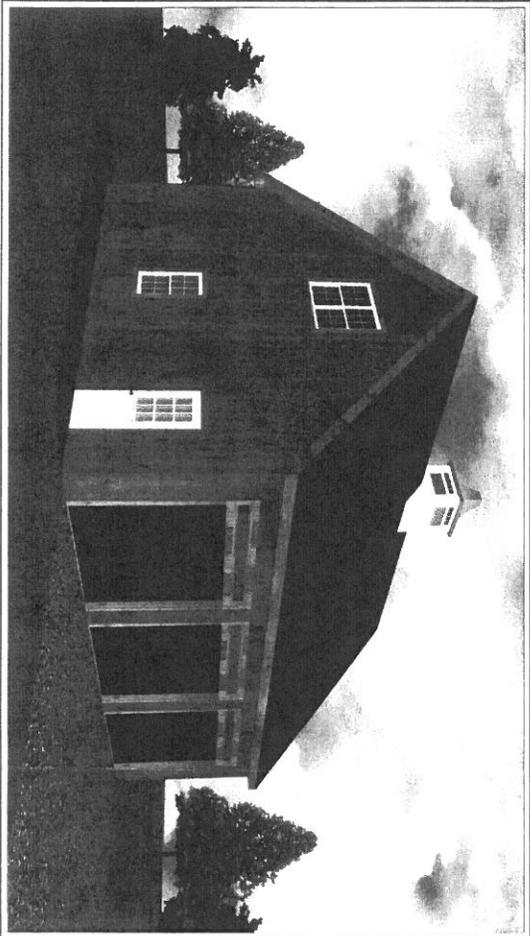
Sworn to before me, this 24th day of August 2015

(over)

KELLY A DAMATO
Notary Public - State of New York
NO. 01DA6294513
Qualified in Putnam County
My Commission Expires Dec 23, 2017

Kelly A Damato
(sign here)

GARAGE PROJECT FOR:
JILL & CRAIG ABOLT
 23 POST OFFICE RD
 MACCABUC, NY 10541



28' X 36' NEWPORT STYLE 1-1/2 STORY GARAGE

DESIGN DATA:	
ROOF SNOW LOAD:	40 PSF
BASIC WIND SPEED:	100 MPH (3-SEC. GUST)
BUILDING CODE REFERENCE:	RESIDENTIAL CODE OF NEW YORK STATE 2010

DESIGNED & FABRICATED BY:

DRAWING LIST

COVER	TITLE SHEET & DESIGN DATA
SHEET 1	FRONT ELEVATION
SHEET 2	LEFT ELEVATION
SHEET 3	RIGHT ELEVATION
SHEET 4	REAR ELEVATION
SHEET 5	FOUNDATION PLAN
SHEET 6	FIRST FLOOR PLAN
SHEET 7	ROOF FRAMING PLAN & NOTES
SHEET 8	BUILDING & WALL SECTIONS & DETAILS
SHEET 9	BRACED WALL DETAILS
SHEET 10	TRUSS INFORMATION

THE BARN YARD

HEADQUARTERS RTE. 75 ANUSOPE LODGES, CT RTE. 6 BENTLEY, CT
 RTE. 83 100 West Road 06062-4644 06062-1435
 P.O. BOX 64 Ellington, CT CT LICENSE # 596116 MA LICENSE # 127550
 860-696-0636 www.barn-yard.com

ENGINEERED BY:

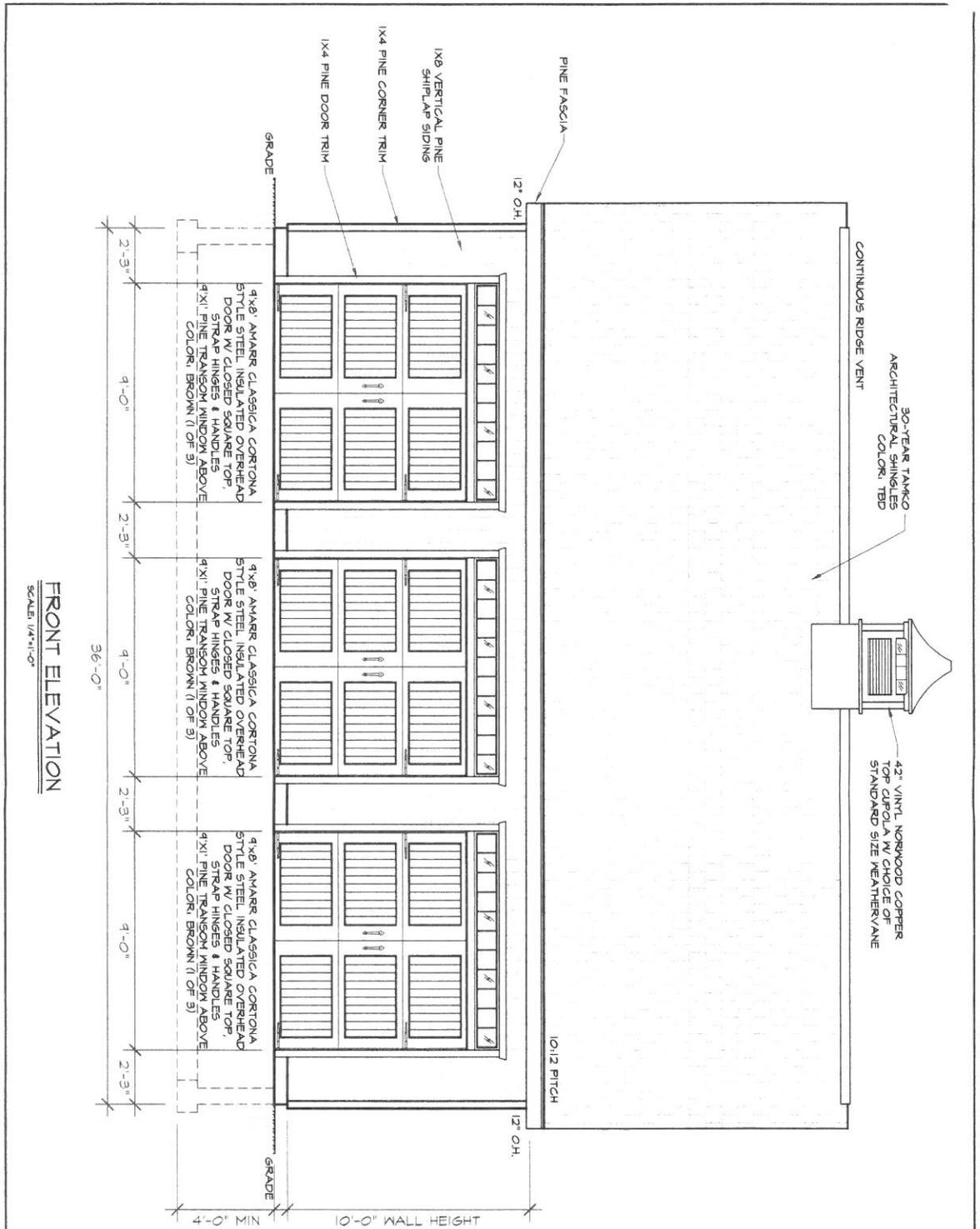
Russell Dawson
 ARCHITECTURE & ENGINEERING

1111 Main St., Shelton, CT 06484
 Tel: 203-356-2200 Fax: 203-356-2201
 Email: info@russelldawson.com
 1997 & 2000 State of Connecticut Registered Professional Engineer
 1997 & 2000 State of Massachusetts Registered Professional Engineer

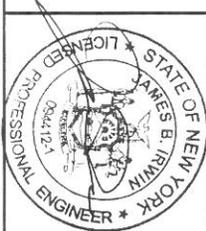
PROJECT NO. 37M PRINT DATE: 6-13-2015

SEALED BY:

022 P 07-15-16Z

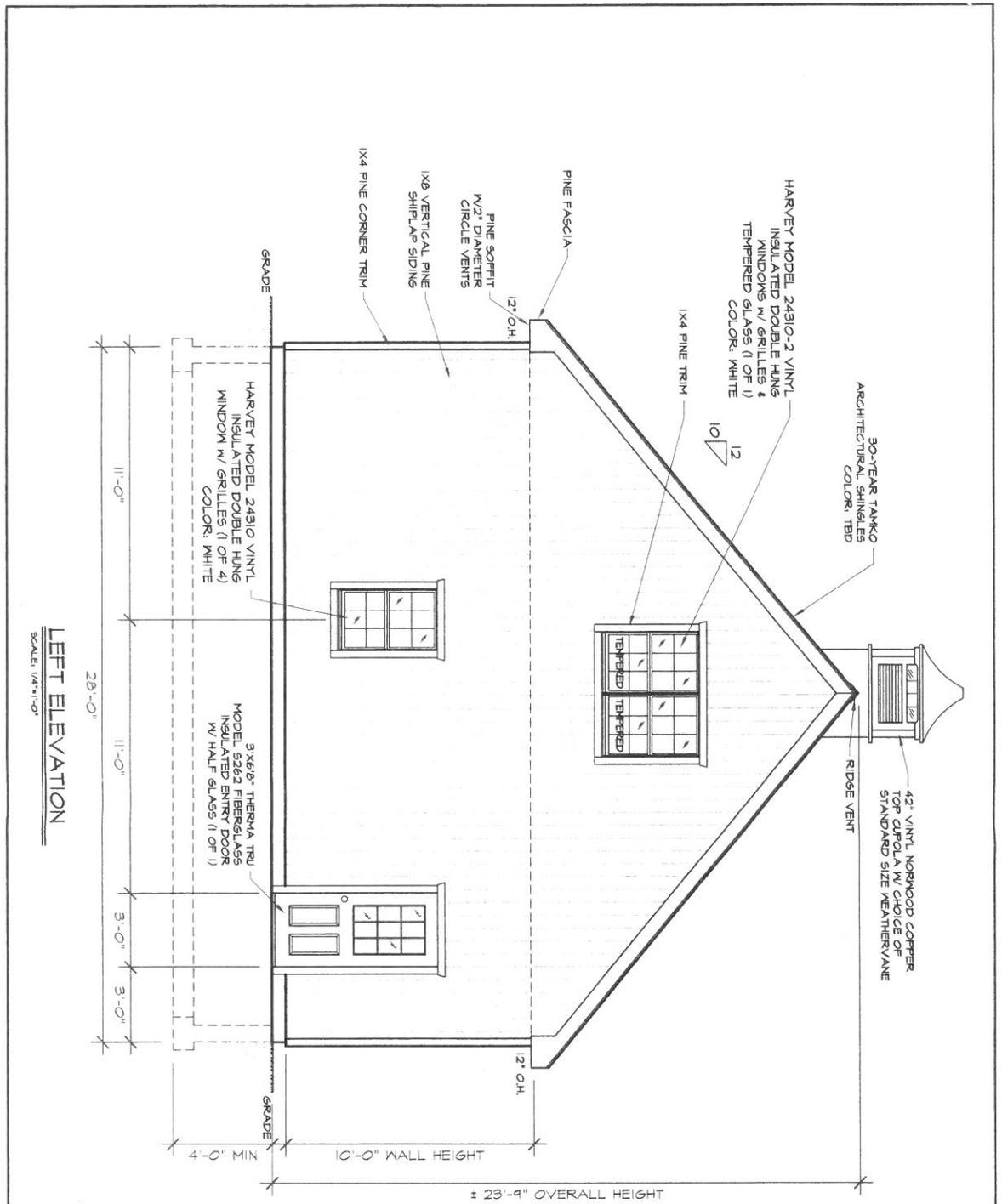


FRONT ELEVATION
SCALE: 1/4"=1'-0"

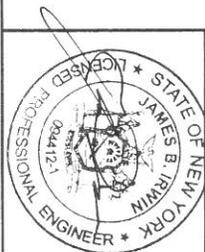


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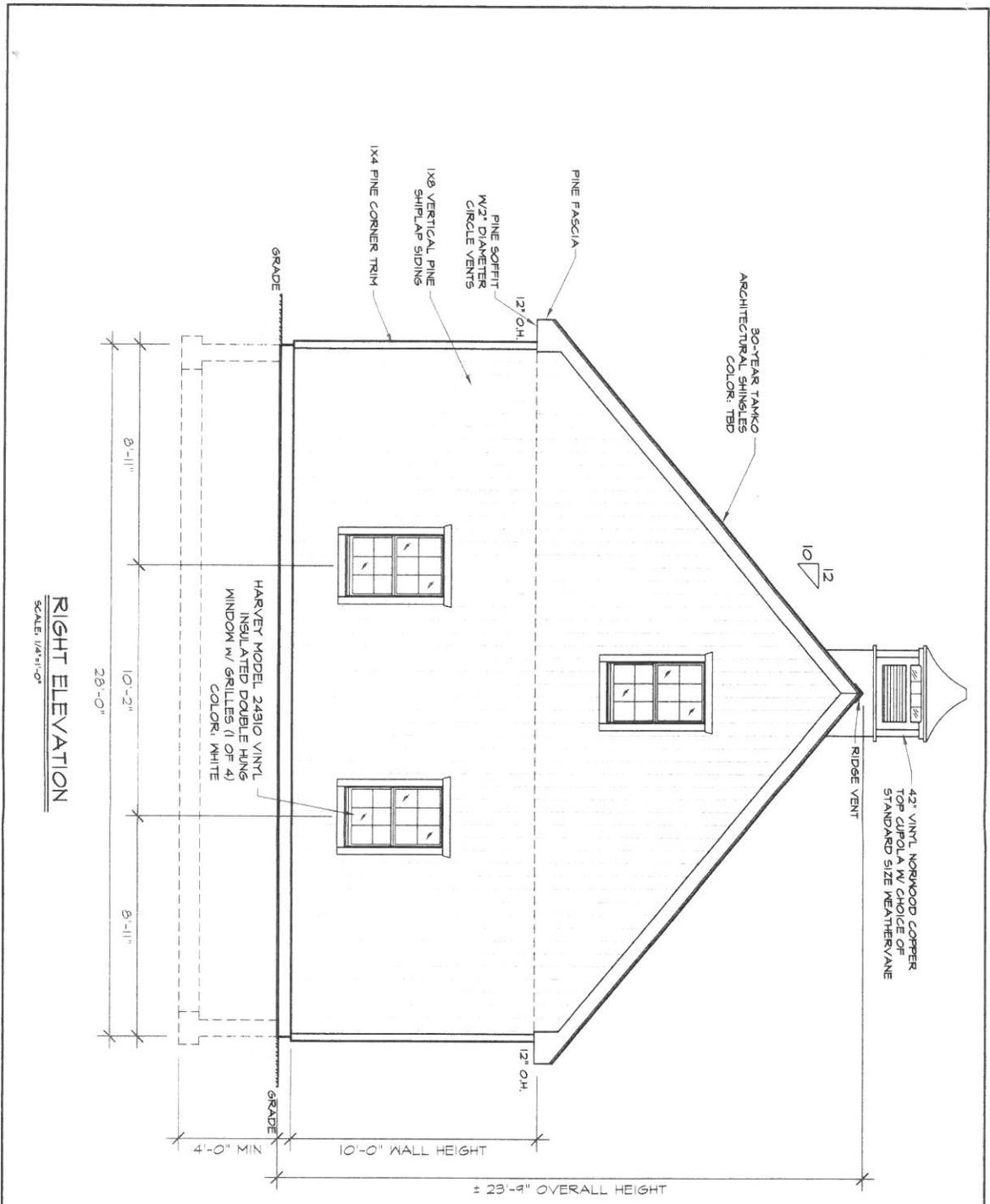
	FRONT ELEVATION	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD WACCABUC, NY 10547	FABRICATED BY 	THE BARN YARD <small>HEADQUARTERS</small> RTE 83 WEST ROAD P.O. BOX 89 ELLINGTON, CT 860-896-0626 WWW.BARN-YARD.COM	THE BARN YARD <small>RTE 75 WINDSOR LOCKS, CT</small> 860-523-6644 <small>64 STONY HILL RD</small> BETHEL, CT 203-740-7433 <small>CT LICENSE # 558916 MA LICENSE # 127550</small>
	STYLE: NEWPORT				



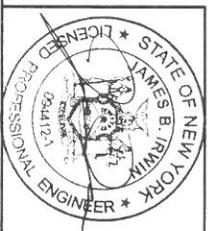
LEFT ELEVATION
SCALE: 1/4"=1'-0"



JOB NO. 37M DATE: 6-13-2015 SCALE: 1/4"=1'-0" DRAWN BY: NGL CHECKED BY: ENL ENGINEER BY:	LEFT ELEVATION	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD WACCABUC, NY 10547	FABRICATED BY 	THE BARN YARD HEADQUARTERS RTE. 83 120 WEST ROAD P.O. BOX 85 ELLINGTON, CT 860-816-0036 WWW.BARN-YARD.COM CT LICENSE # 55916 MA LICENSE # 127550
	STYLE: NEWPORT			

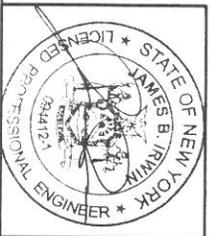
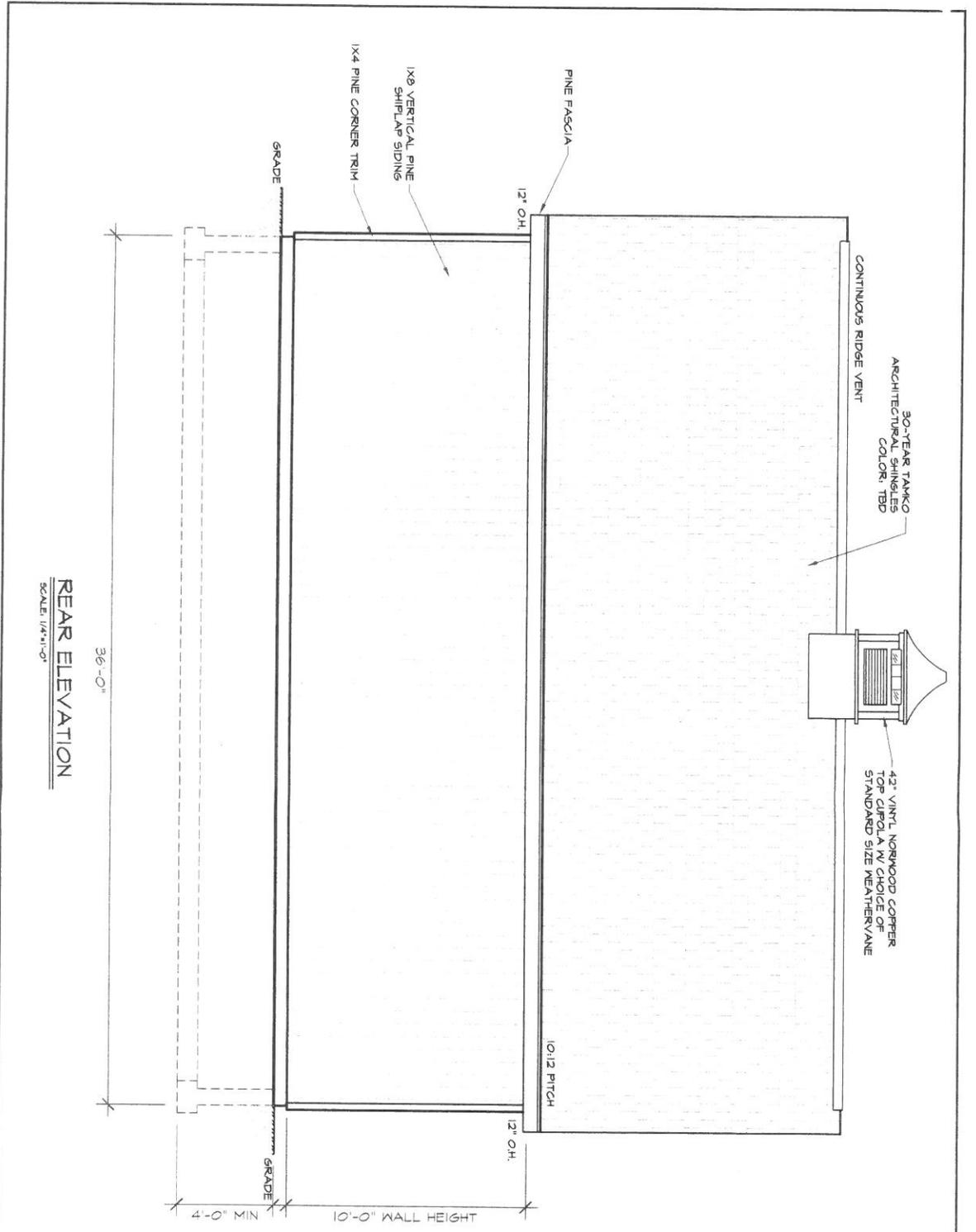


RIGHT ELEVATION
SCALE: 1/4"=1'-0"



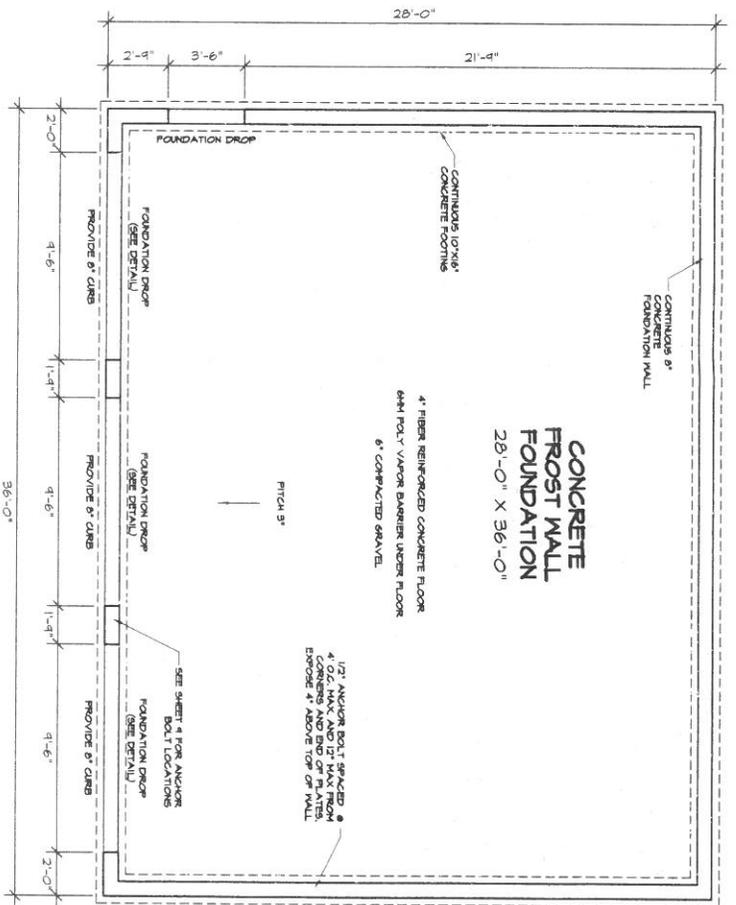
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3		RIGHT ELEVATION	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD MACCABUG, NY 10541	FABRICATED BY 	THE BARN YARD <small>HEADQUARTERS</small> RTE 93 120 WEST ROAD P.O. BOX 89 ELLINGTON, CT 860-896-0036 WWW.BARN-YARD.COM <small>CT LICENSE # 558916 MA LICENSE # 127550</small>
		STYLE: NEWPORT			

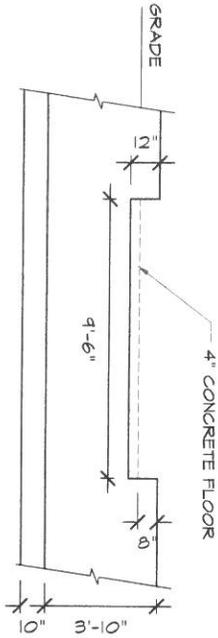


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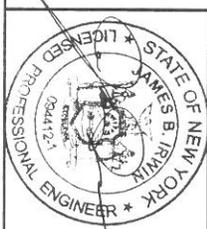
4	RD <small>ARCHITECTURAL & ENGINEERING</small>	REAR ELEVATION	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD WACCABUG, NY 10997	FABRICATED BY 	THE BARN YARD <small>HEADQUARTERS</small> RTE. 85 120 WEST ROAD P.O. BOX 89 ELLINGTON, CT 860-896-0636 WWW.BARN-YARD.COM <small>CT LICENSE # 55896 MA LICENSE # 127550</small>
		STYLE: NEWPORT			



FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



OVERHEAD DOOR DROP DETAIL
SCALE: 1/4" = 1'-0"

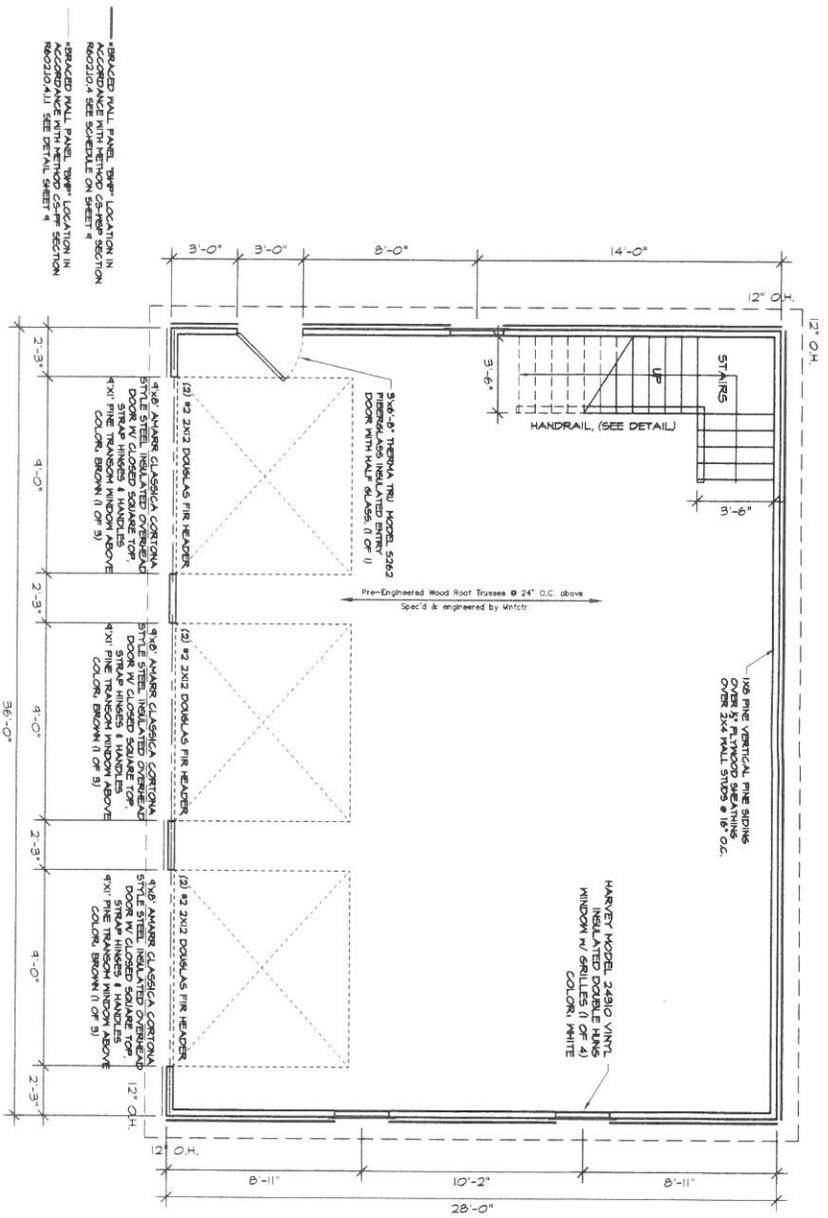


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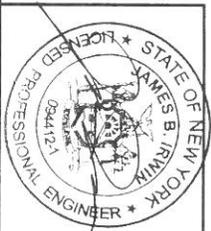
	FOUNDATION PLAN	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD WACCABUG, NY 10987	FABRICATED BY 	THE BARN YARD <small>HEADQUARTERS</small> RTE. 85 EQ WEST ROAD P.O. BOX 89 ELLINGTON, CT 860-896-0236 WWW.BARN-YARD.COM <small>CT LICENSE # 558916 MA LICENSE # 127550</small>
	STYLE: NEWPORT			

WINDOW SCHEDULE				
MANUFACTURER	MODEL #	COLOR	TEMP	QTY
HARVEY	24310	WHITE	N	4
HARVEY	24310-2	WHITE	Y	1
PINE	4X1 TRANSON	WHITE	N	3
				ROUGH OPENINGS
				2'-6" X 4'-1 1/2"
				4'-10 1/2" X 4'-1 1/2"
				4'-0" X 1'-0 1/2"

DOOR SCHEDULE				
MANUFACTURER	MODEL #	COLOR	SIZE	HINGE
TERNIA TRU	5262	WHITE	3069	R
ANARR CLASSICA	LUCERN L2	WHITE	4X8	NA
				SWING
				QTY
				34 3/8" X 82 1/2"
				ROUGH OPENING
				4'-0" X 8'-0"



FIRST FLOOR PLAN
SCALE: 3/8"=1'-0"



6

RD
RUSTIC DESIGN

ENGINEERED BY: [Signature]

CHECKED BY: NSL

DRAWN BY: NSL

JOB NO.: 571M
DATE: 6-13-2015
SCALE: 3/8"=1'-0"

FIRST FLOOR PLAN
STYLE: NEWPORT

GARAGE PROJECT FOR:
JILL & CRAIG ABOLT
23 POST OFFICE RD
WACCABUC, NY 10597

FABRICATED BY:
THE BARN YARD
GREAT COUNTRY GARAGES

HEADQUARTERS
RTE 83 120 WEST ROAD
P.O. BOX 89
ELLINGTON, CT
860-896-0836
WWW.BARN-YARD.COM

RTE 75 WINDSOR
LOCKS, CT
860-828-6444

84 STONY HILL RD
BETHEL, CT
203-740-7433

CT LICENSE # 558910 MA LICENSE # 127550

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GENERAL NOTES

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AS APPLICABLE TO THE JURISDICTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

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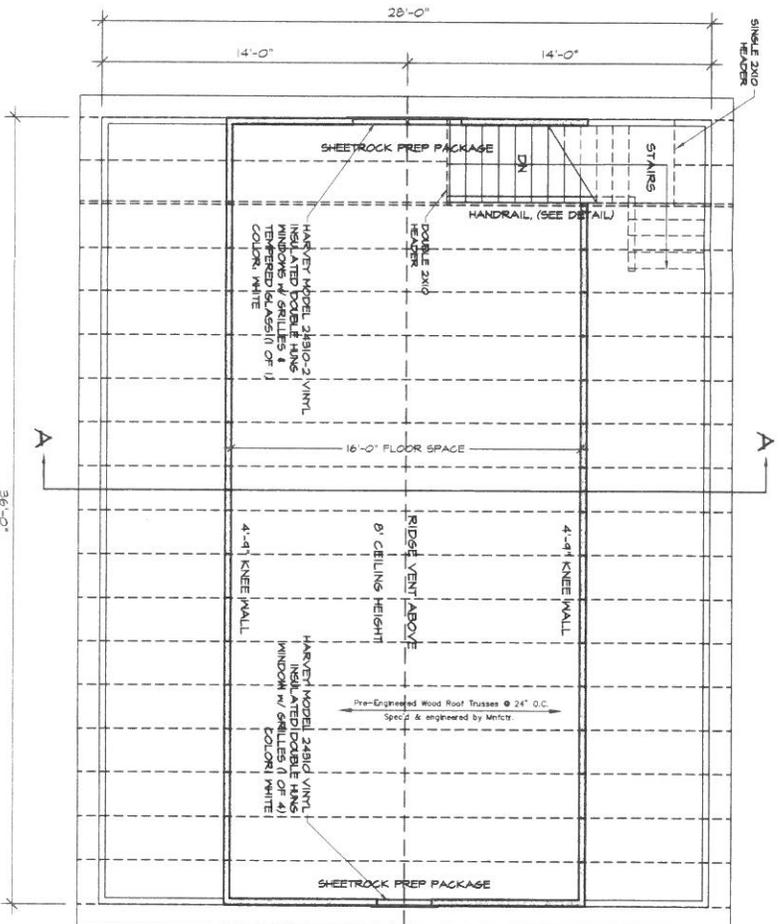
ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AS APPLICABLE TO THE JURISDICTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

SOIL NOTES

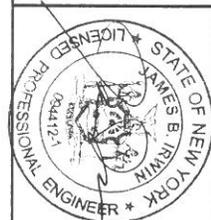
ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AS APPLICABLE TO THE JURISDICTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC) AS APPLICABLE TO THE JURISDICTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

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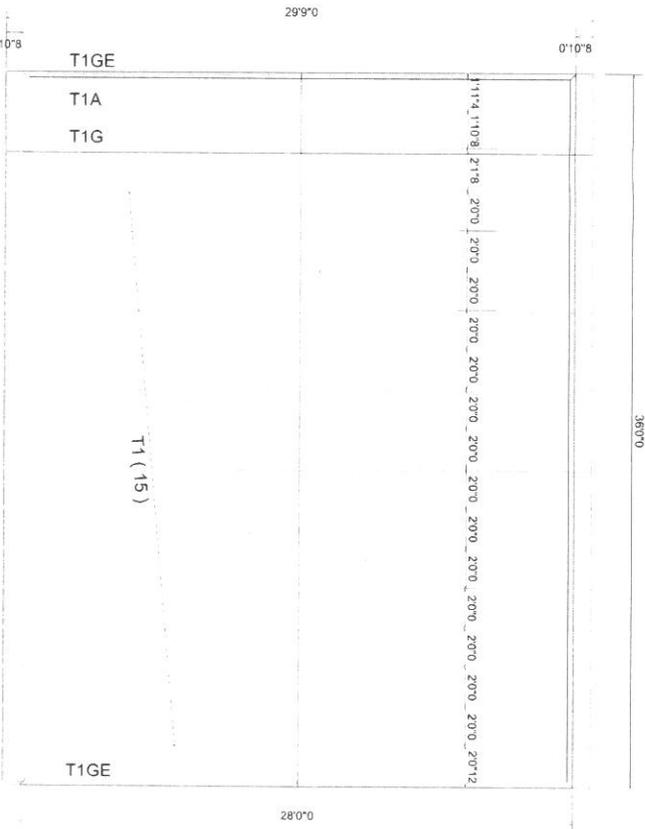
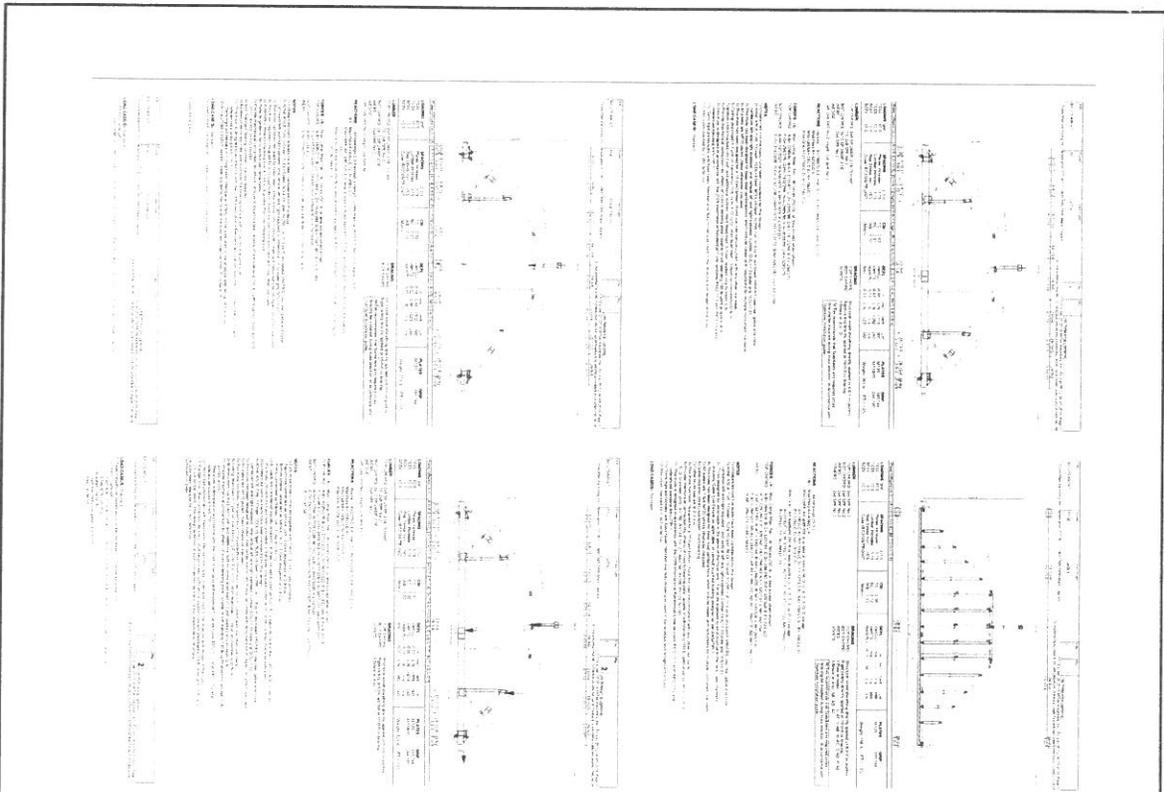


ROOF FRAMING PLAN
SCALE: 3/8"=1'-0"



7 R.D. ARCHITECTS & ENGINEERS 1000 WEST 10TH AVENUE SUITE 100 DENVER, CO 80202 (303) 733-1111 WWW.RDARCHITECTS.COM	ROOF FRAMING PLAN & NOTES STYLE: NEWPORT	GARAGE PROJECT FOR: JILL & CRAIG ABOLT 23 POST OFFICE RD MACCABUC, NY 10547	THE BARN YARD HEADQUARTERS RTE 83 120 WEST ROAD # 2 BOX 89 ELLINGTON CT 860-890-0036 WWW.BARNYARD.COM	RTE 75 WINDSOR LOCKS CT 860-823-6564 84 STONY HILL RD BETHEL CT 203-740-7633 CT LICENSE # 558916 MA LICENSE # 127550
	JOB NO. 37M DATE 6-3-2015 SCALE 3/8"=1'-0" CHECKED BY: EWS DRAWN BY: NSL ENGINEERED BY:	FABRICATED BY The BARN YARD GREAT COUNTRY GARAGES		

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TRUSSES SPEC'D &
ENGINEERED BY
TRUSS MANUFACTURER

TRUSS INFORMATION



RD
Ralph D. ...
Structural Engineering

JOB NO: 37M
DATE: 6-13-2015
SCALE: N.T.S.
DRAWN BY: NSL
CHECKED BY: EMS
ENGINEERED BY:

TRUSS INFORMATION

STYLE:
NEWPORT

GARAGE PROJECT FOR:

JILL & CRAIG ABOLT
23 POST OFFICE RD
WACCABUC, NY 10597



THE BARN YARD

HEADQUARTERS
RTE. 83/20 WEST ROAD
P.O. BOX 86
ELLINGTON, CT
860-890-0656
www.barn-yard.com

RTE. 75 WINDSOR
LOCKS, CT
860-623-4644

84 STONY HILL RD
BETHEL, CT
203-760-7433

CT LICENSE # 558916 MA LICENSE # 127550

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ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that the Zoning Board Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, September 30, 2015 at 7:30 P.M., at the Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza, Lower Level, 20 North Salem Road, Cross River, New York regarding the following:

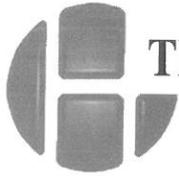
Cal. No. 28-15-BZ

Application of Robert Lauria, North County Shopping Center, Suite 201, Goldens Bridge, NY 10526 [Stephen Cipes, P. O. Box 544, Goldens Bridge, NY, owner of record] seeking the following variances associated with the proposed new Phase 1 Development consisting of a new 2-story mixed-use building and proposed Phase 2 consisting of a new single-story retail building and all related site improvements: [1] Article III, Section 220-12E (1) in the matter of the proposed north retaining wall located within the required yard area where the maximum height proposed is 21.5 feet and the south retaining wall located within the required yard area where the maximum proposed height is 19.8 feet where six feet is permitted; [2] Article IV, Section 220-23E in the matter of a variance of the maximum site coverage (upon completion of Phase 2 the coverage of the entire property will be 63.97%, where 60% is permitted); [3] Article VII, Section 220-56D in the matter of the existing and proposed parking at the Goldens Bridge Shopping Center where 288 parking spaces are required for the existing conditions and there exists 218 parking spaces; 354 parking spaces are required for the proposed Phase 1 development and the applicant is providing 292 parking spaces; and 404 parking spaces are required for the proposed Phase 2 development and the applicant is providing 384 parking spaces. The property is located on the east side of NYS Route 22 and on the south side of NYS Route 138 and designated on the Tax Map of the town of Lewisboro as Sheet 4, Block 11126, Lot 7 in the RB Retail Business District.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at the Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza (P. O. Box 725), Lower Level, 20 North Salem Road, Cross River, New York 10518 during regular business hours. At such hearing, all interested parties may attend and will be heard.

Dated this 17th day of September, 2015
In Cross River, New York

ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
BY: Robin Price, Jr.
Chairman



THE HELMES GROUP, LLP

ARCHITECTURE • ENGINEERING
PROJECT MANAGEMENT

September 2, 2015

Via Email: zoning@lewisborogov.com
& Hand-Delivered

Duffy Price, Chairman

Town of Lewisboro Zoning Board of Appeals

Cross River Shopping Center – Orchard Square Suite (Lower Level)

20 North Salem Road (P.O. Box 725)

Cross River, New York 10518

Project: Proposed New Phase 1 Development consisting of a new 2-Story Mixed-Use Building and proposed Phase 2 consisting of a new Single-Story Retail Building along with all related Site Improvements
Goldens Bridge Village Centre, Goldens Bridge, NY
Tax Sheet 4, Block 11126, Lot 7 (Zoning District: RB – Retail Business)
Owner: Stephen Cipes / North County Shopping Center

Subject: Application for three (3) Variances

- Parking deficiency for Existing Shopping Center
- Height of the Proposed Retaining Walls & Fences within Building Setbacks
- Maximum Site Coverage for future Phase II Development

Dear Chairman Price & Members of the Zoning Board of Appeals:

On behalf of Stephen Cipes, the Owner of the Goldens Bridge Village Centre, a/k/a North County Shopping Center, who has owned the property for more than 35 years, we are making this submission in order to obtain approval from the Zoning Board of Appeals for three (3) required Variances.

The Owner has authorized Mr. Robert J. Lauria, to act on his behalf in all matters pertaining to making applications, presentations and all other matters necessary to gain approvals for this project. A copy of the signed Authorization Letter from the Owner is attached.

DESCRIPTION OF EXISTING & PROPOSED IMPROVEMENTS –

The attached Site Plan indicates the following three (3) major components:

Existing Shopping Center - The existing Goldens Bridge Shopping Center has been in operation since 1968. Substantial improvements were made in 1998, which involved the construction of a 2-story addition at the northeast end of the existing building along with related site improvements. The shopping center currently contains an A&P Supermarket, Post Office, Bank of America, Dunkin' Donuts, Pizza Restaurant, Subway Restaurant, Hair Salon, Nail Salon, Gift Shop / Card Store, Yogurt Shop, and a Liquor Store. The second floor of the 1998 addition contains professional offices, which includes a large accounting firm, as well as a dentist and other professional offices, all of which are accessible by an ADA compliant elevator.

Proposed Phase 1 Improvements – Phase 1 is denoted on the Site Plan in the northeast section of the property and is identified as “North Development”. Phase 1 will include the construction of a new traditional style, non-combustible, 2-story, slab-on-grade, mixed-use building, along with related site improvements. The first floor will include a 2-story daycare center (with access to the second floor by an internal staircase) along with three (3) retail tenants. A common entrance lobby with an ADA compliant elevator will also be provided to serve the second floor areas. The proposed second floor will accommodate the balance of the daycare facility as well as four (4) separate office suites. The total floor area for the proposed new building will be 16,845 gross square feet.

Future Proposed Phase 2 Improvements – The future proposed Phase 2 “South Development” is indicated for reference only at this time. This development was part of a 1996 Planning Board Approved Site Plan, yet was never constructed. We are showing it as part of the overall master plan, as the owner wishes to complete Phase 2 at some future date.

CURRENT APPLICATION – After meeting with the Planning Board, we were directed to review the proposed development with Peter Barrett, Building Inspector, to confirm which variances would be needed. We met with Mr. Barrett on 7/28/15 at which time it was determined that three (3) variances would be required as listed below.

Variances Needed:

- A. Parking Deficiency for Existing Shopping Center
- B. Height of the Proposed Retaining Walls or Fences within Required Yard Areas
- C. Maximum Site Coverage for the future Phase 2 Development

The grounds for granting the three (3) Variances requested according to New York State's Village Law Section 7-712-b-(3) provides the standards for area variances:

In making its determination, a Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board shall also consider the five (5) points as listed under each of the individual Variances requested below.

**A. Zoning Code Article VII - Section 220-56
(Parking Requirements)**

218 parking spaces are currently provided at the Goldens Bridge Shopping Center. Although this number of parking spaces has been adequate for the past 22 years, Article VII, Section 220-56 of the Zoning Code requires a total of 288 parking spaces. As a result, the existing parking is deficient by 70 spaces as per the requirements of the zoning code or 24% deficient.

The proposed new project involves two (2) separate phases of development. Phase 1 is a new 2-story, 16,845 square foot mixed-use building to be located at the north end of the property. Phase 2 will be a new single-story 10,000 square foot Retail Building which will be located at the south end of the property.

Upon completion of Phase 1, enough new parking will be provided to not only accommodate the required parking needs for Phase 1, but will also provide additional parking to reduce the parking deficiency for the existing shopping center from 70 spaces to 62 spaces.

Upon completion of Phase 2, enough new parking will be provided to not only accommodate the required parking needs for Phase 2, but will also provide additional parking to further reduce the parking deficiency for the existing shopping center from 62 spaces down to 20 spaces.

In summary, upon completion of both Phase 1 and Phase 2, the current parking deficiency for the existing shopping center will be reduced from 70 parking spaces down to 20 (i.e., from a 24% deficiency to less than 5%).

We request this Variance be granted based on the following:

- (1) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;**

Granting the requested variance will not create an undesirable change in the character of the neighborhood, nor will it be a detriment to nearby properties. Alternatively, the proposed improvements will render the site more conforming by significantly reducing the current parking deficiency from 70 parking spaces down to 20, upon completion of the Phase 2 Development. It should be noted that currently, at any given time, over 20 vacant spaces are available in the existing shopping center on a daily basis.

- (2) **Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;**

The benefit sought cannot be achieved by any other feasible method. Furthermore, the proposed improvements will only serve to render the site more conforming than what currently exists, all to the benefit of the community.

- (3) **Whether the requested area variance is substantial;**

The requested variance is not substantial. Upon completion of construction for both Phases 1 & 2, both of which will meet the parking requirements per the zoning ordinance, 384 of the total 404 required parking spaces for the overall shopping center will have been provided, leaving only 20 spaces deficient. These 20 spaces represent less than 5% of the total required parking, whereas for the past 22 years, the shopping center has been operating with a total of 218 parking spaces whereby 288 were required, leaving a deficiency of 70 parking spaces or 24%, while managing to satisfy actual customer and employee parking needs.

- (4) **Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and**

The proposed variance will not have any adverse effect on the physical or environmental conditions of the neighborhood. Upon completion of both Phases 1 & 2, and with proper stormwater management systems in place, there will be no adverse effect to the environment but rather only the benefit of having additional parking to serve the customers and community.

- (5) **Whether the alleged difficulty was self-created; which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.**

Although the difficulty may be construed as self-created, the existing parking deficiency will be significantly improved, benefiting the customers and community. Nonetheless, a self-created hardship does not preclude the granting of area variances.

**B. Zoning Code Article III - Section 220-12
(Height of Retaining Walls or Fences within
Required Yard Areas)**

Two separate retaining walls will be required for the Phase 1 Development. One will be located at the north end of the proposed new building, closest to NYS Route 138 (North Retaining Wall). The second retaining wall will be located along the south section of the Phase 1 Development (South Retaining Wall), much of which will be screened by the new building.

The proposed North Retaining Wall will utilize an earth-tone colored unit masonry retaining wall system. It shall be noted that the height is measured from the approximate finished grade to the top of the 48-inch high fence located at the top of the retaining walls and not to the top of the retaining wall itself. The proposed North Retaining Wall is 183 linear feet long and will have a 4-foot high black vinyl coated chain-link fence traversing the entire top of the retaining wall. The average height above the 6-foot height permitted by the Zoning Ordinance is approximately 8.08-feet.

The proposed South Retaining Wall is 196 linear feet long and will also have a 4-foot high black vinyl coated chain-link fence at the top. However, only wall segments A & B or 101 linear feet of this wall fall within the required yard area. The average height above the 6-foot permitted by the Zoning Ordinance for the section of wall requiring the variance is approximately 6.51-feet.

The South Retaining Wall will utilize a combination of natural exposed rock face, which will be drilled, hammered and shaped on a batter/slope and will be supplemented as needed with stone rip rap. If larger pockets of earth are encountered during construction, the earth-tone colored unit masonry walls will be used as infill, similar to what is being used for the North Retaining Wall.

Reference is made to the attached Drawings of the Site Plan and Retaining Wall Elevations and Details (Drawings A-1 & RW) along with the colored photographs showing samples of similar walls.

We request this Variance be granted based on the following:

- (1) **Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;**

Granting the requested variance will not create an undesirable change in the character of the neighborhood, nor will it be a detriment to nearby properties. The North Retaining Wall (closest to and facing NYS Route 138) will have a natural earth-tone color which will be aesthetically pleasing. The lower section of the North Retaining Wall will also be screened by the natural vegetation. The portion of the South Retaining Wall requiring a variance, will also be screened to some extent by the new building.

- (2) **Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;**

The benefit sought cannot be achieved by any other feasible method. Due to the adjacent wetlands and required setbacks, and due to the configuration of the property, space is simply not available to permit the use of terraced retaining walls with a height not exceeding the permitted 6-feet.

(3) Whether the requested area variance is substantial;

The requested variance is not substantial. Natural vegetation within the adjacent NYS DOT property will provide screening for the bottom portion of the North Retaining Wall, thereby visually reducing the overall height. The South Retaining Wall will serve as a backdrop for the new Phase 1 Development area. Most of the visible sections of this wall do not require a variance and a good portion of the remaining sections of the wall, which does require the variance, will be screened by the new building.

(4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and

The proposed variance will not have any adverse effect on the physical or environmental conditions of the neighborhood. The proposed retaining walls will utilize earth-tone colors and will be aesthetically attractive and will blend nicely with the surrounding environment.

(5) Whether the alleged difficulty was self-created; which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.

Although the difficulty may be considered self-created, due to the existing sloped topography, the only practical way to develop the parcel is to utilize the proposed retaining walls. Nonetheless, a self-created hardship does not preclude the granting of area variances.

**C. Zoning Code - Section 220B
(Maximum Site Coverage)**

The Maximum Site Coverage per the Zoning Code is 60%. The Goldens Bridge Shopping Center is located on an 8.961 Acre Lot (390,341 SF). The existing Site Coverage for the entire shopping center property is 41% (159,964 SF). Upon completion of Phase 1, the total Site Coverage for the entire shopping center property will be 50.58% (197,926 SF), which is still in compliance with the Zoning Code.

However, upon completion of Phase 2, the total Site Coverage for the entire shopping center property will be 63.97% (249,638 SF). As a result, the Site Coverage will be approximately 4% greater than the Maximum Site Coverage permitted by the Zoning Code. The additional Site Coverage is necessary to improve the current Parking deficiency by reducing it from 70 Parking Spaces to 20. It should be noted that the owner of the shopping center currently has a Lease Agreement with NYS DOT to acquire approximately 5,294 square feet of property directly adjacent / contiguous to the shopping center property, which will actually reduce the approximate 4% coverage to 3%. $(390,341 + 5,294 = 395,635 \text{ SF})$ $(249,638 \text{ SF} \text{ divided by } 395,635 \text{ SF} = 63\%)$

We request this Variance be granted based on the following:

- (1) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;**

Granting the requested variance will not create an undesirable change in the character of the neighborhood, nor will it be a detriment to nearby properties. From a practical standpoint, if the additional land owned by the NYS DOT at the perimeter of the property (adjacent to North Road and Routes 22 and 138) were included in the overall land area, there would be no need for a variance. Therefore, from a visual standpoint, there would be no noticeable change.

- (2) **Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;**

The benefit sought cannot be achieved by any other feasible method, other than purchasing additional adjacent land from NYS DOT, which is not financially feasible. Again, other than the additional DOT owned land at the perimeter of the property as referenced above, there is no other feasible method to comply.

- (3) **Whether the requested area variance is substantial;**

The requested variance is not substantial. With the purchase of the 5,294 square feet of adjacent DOT land as referenced above, the total Site Coverage will only be approximately 3% over the 60% permitted, which is minimal.

- (4) **Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and**

The proposed variance will not have any adverse effect on the physical or environmental conditions of the neighborhood as proper mitigating measures for stormwater management will be employed.

- (5) **Whether the alleged difficulty was self-created; which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.**

Although the difficulty may be considered self-created, as a result of the slight overage in Site Coverage, the existing parking deficiency will be significantly improved, thereby benefiting the customers and community. Nonetheless, a self-created hardship does not preclude the granting of area variances.

SUPPORTING DOCUMENTS – In support of the above requested variances, attached herewith please find one (1) original and eight (8) copies of the following information:

- Letter of Authorization from Owner allowing Robert J. Lauria to act as Applicant on Owner's behalf
- Fee for Application for a Variance (Check #1961 in the amount of \$252 payable to the Town of Lewisboro)
- Application to the Board of Appeals, signed and dated 9/2/15
- Application for Building Permit, signed, notarized and dated 9/2/15
- Application for Certificate of Occupancy, signed and dated 9/2/15
- Spreadsheet Analysis for determining average height of proposed retaining walls above the six (6) feet permitted by the zoning code, as prepared by The Helmes Group, LLP, dated 9/2/15.
- Drawing A-1, Proposed Architectural Site Plan, dated 8/6/15 as prepared by The Helmes Group, LLP
- Drawing RW, Proposed Retaining Wall Elevations & Details, dated 8/31/15 as Prepared by Bibbo Associates, LLP and Modified by The Helmes Group, LLP
- As-Built Property Survey, dated February 10, 2015 as prepared by Jeffrey DeRosa, Land Surveying

In addition to the hard copies of this submission, digital copies (in pdf format) are also being provided via email to Aimee Hodges, Zoning Board Secretary, which include this cover letter, the above-referenced drawings and all other attachments as listed above.

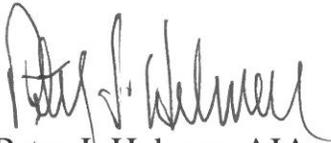
We look forward to presenting the three (3) requested variances to the Zoning Board at your next scheduled meeting. It is my understanding that the next Zoning Board meeting is scheduled for either Wednesday 9/23/15 or Wednesday 9/29/15.

Based on the above, kindly advise as of the date, time and place for the next available meeting so we can put it in our calendars.

Thank you in advance for your consideration.

Respectfully submitted,

THE HELMES GROUP, LLP

A handwritten signature in black ink, appearing to read "Peter J. Helmes". The signature is fluid and cursive, with the first name being more prominent.

Peter J. Helmes, AIA
Architect

PJH:KF

cc: Stephen Cipes, Owner
Robert J. Lauria, Authorized Owner's Representative
Sabri Barisser, P.E., Partner - Bibbo Associates, LLP

Enclosures

STEPHEN CIPES
4870 Chute Lake Road
Kelowna, B.C. Canada V1W 4M3
Tel. 250-764-4345
Email: stephen@summerhill.bc.ca

September 1, 2011

Jerome Kerner, Chairman
Town of Lewisboro Planning Board
99 Elmwood Road / Onatru Farm
South Salem, NY 10590

Project: Goldens Bridge Village Centre (a/k/a North County Shopping Center)
Tax Sheet 4; Block 11126; Lot 7, Goldens Bridge, NY 10526

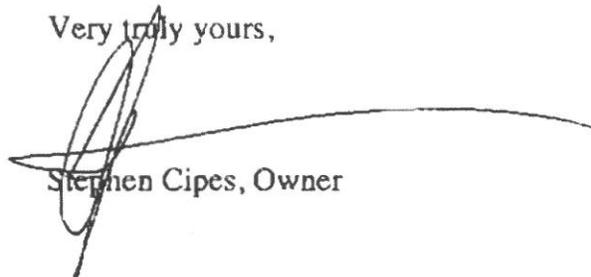
Subject: Letter of Authorization for Robert Lauria to act as Owner's Agent

Dear Chairman Kerner:

Please accept this letter as notification to the Town of Lewisboro that I hereby authorize Robert J. Lauria to act on my behalf as my agent and Owner's representative in all matters pertaining to making applications and presentations to the Town of Lewisboro with regard to the Goldens Bridge Village Centre.

If you have any questions, please do not hesitate to contact me.

Very truly yours,



Stephen Cipes, Owner

Town of Lewisboro

P. O. Box 725
20 North Salem Road, Cross River, New York 10590

APPLICATION TO THE BOARD OF APPEALS

*Cal. No. 28-15 (B.Z.) **Cal. No. (S.P.)

I. IDENTIFICATION OF APPLICANT & PROPERTY OWNER

Applicant's Name: ROBERT LAURIA FOR STEPHEN CIFES, OWNER Phone: 914-767-3380
Address: GARDENS BRIDGE, N.Y. 10526

Owner's Name: STEPHEN CIFES Phone: 250-764-4345
Address: KELOWNA, B.C. CANADA VILWAM3 E-Mail: STEPHEN@SUMMERHILL.BC.CA

II. TO THE ZONING BOARD OF APPEALS OF THE TOWN OF LEWISBORO:

Application is hereby made for: III 220-12
VII 220-56
[X] A Variation of Article Section 220B-22, 23E of the Zoning Ordinance.

Handwritten note: 5' at west from property line

- Other options: A Special Permit pursuant to Article, An Interpretation of the Zoning Ordinance or Zoning Map, A Variation of Section 280 (a) of the Town Law, An appeal from an Order of the Building Inspector to correct a Violation of the Housing Code Section, (Other)



AND FURTHER DESCRIBED AS FOLLOWS: (220-12) HEIGHT OF PROPOSED RETAINING WALLS/FENCES LOCATED WITHIN THE REQUIRED SETBACKS. (220-56) EXISTING PARKING DEFICIENCY. (220-23E) EXCEEDING MAXIMUM SITE COVERAGE FOR PROPOSED PHASE II CONSTRUCTION. SEE ATTACHED LETTER

III. IDENTIFICATION OF PROPERTY:

Location of Affected Premises: INTERSECTION OF NYS ROUTE 22 & NYS ROUTE 138
Tax Map: Sheet 4 Block 11, 12, 6 Lot(s) 7
Zoning District: RB Lot Area: 8.96 Acres

IV. ADDITIONAL INFORMATION

Have previous appeals/special permits been filed in regard to these premises?
Has a court summons been served relative to this matter?
Have you inquired of the Clerk of the Town of Lewisboro whether there is any petition pending to change the use district regulations affecting the block on which these premises are located?

- Attached hereto and made a part of this application, I submit the following:
- A copy of the ground and floor plans with all necessary measurements.
- A property survey.
- A signed consent by the owner of the property if the applicant is not the owner.

V. APPROVED FOR SUBMISSION:

Applicant's Signature: Robert Lauria Date: 9/2/15

VI. RECEIPT:

Date Received by Clerk Fee Received \$ 252.00
Check #: 1961 Receipt #: 26260

* EXPIRATION: (§ 220-74E(5)) "A variance shall be deemed to authorize only the particular use or uses specified in the decision, and unless other provisions are set forth by the Zoning Board of Appeals in connection with their decision, shall expire if work is not initiated pursuant thereto within one (1) year, of if said use or uses shall cease for more than one (1) year."

**Storage of Contractor's Equipment requires an additional fee for each required off-street parking space.
*** Accessory Apartment applications will also require an additional fee for filing the legal instrument with Westchester County.

AFFIDAVIT OF OWNERSHIP

State of New York, Stephen R Cipes o/o Robert J. Leukin being duly sworn, deposes
County of _____

and says that he resides at North County Center in the Town of Lewisboro
in the County of Westchester in the State of N.Y. and that
he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the
Town of Lewisboro, N.Y., aforesaid and known and designated on the Tax Map as Lot Number
7 in Block 11126 on Sheet 4 and that he hereby authorizes
Robert J. Leukin to make the annexed application in his behalf
and that the statements of fact contained in said application including the statements contained in all
of the exhibits transmitted herewith are true.

Sworn to before me, this 2nd

day of September 2015

Rachel J. Leukin
(sign here)

Kathleen Formicola Jack exp. 12/8/17

(over)



MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
David J. Sessions, RLA, AICP 
Town Consulting Professionals

DATE: January 21, 2015

RE: North County Shopping Center Expansion
Routes 22 & 138, Goldens Bridge
Sheet 4, Block 11126, Lot 7

Project Description

The subject property consists of ± 8.96 acres and fronts on NYS Route 22, NYS Route 138, and the NYS Route 138 Extension (aka North Street). The subject property is located within the Town's Retail Business (RB) Zoning District, within the hamlet of Goldens Bridge, and is currently developed with a shopping center, including an A&P Supermarket, U.S. Post Office, a Bank of America, Dunkin' Donuts, Subway, a restaurant, liquor store and other retail and service businesses. The shopping center property has access off of North Street and NYS Route 22, contains parking for ± 218 vehicles and contains septic systems, drainage features, lighting, landscaping and other site improvements.

The applicant is proposing the construction of a 2-story building ($\pm 16,844$ s.f.) to be located in the northeast portion of the property, in proximity to the NYS Route 138 and North Street intersection. The building is proposed to be occupied by a 2-story (6,889 s.f.) day care center, with the remaining first floor area to be occupied by retail uses and the remainder of the second floor by offices. The applicant is also proposing additional parking (± 80 spaces), lighting, an outdoor play area and other site amenities. The new building is proposed to be served by the existing septic and water system.

SEQRA

The proposed action is an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and a coordinated review is not required. Prior to making a decision on this pending application, the Planning Board must issue a Determination of Significance.

Required Approvals/Referrals

1. Site Development Plan Approval, a Wetland Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.
2. Area variances appear to be required from the Zoning Board of Appeals.
3. The application must be referred to the Architecture and Community Appearance Review Council (ACARC) for review and recommendations; all signage must be approved by the ACARC.
4. The applicant has obtained a Change of Use Permit from the Westchester County Department of Health (WCDH) to connect the proposed building to the existing septic system.
5. The Stormwater Pollution Prevention Plan (SWPPP) must be reviewed and approved by the New York City Department of Environmental Conservation (NYCDEP).
6. The applicant has obtained a Use and Occupancy Permit from the New York State Department of Transportation (NYSDOT) for the use of the State right-of-way for drainage improvements.
7. A Highway Work Permit is required from the NYSDOT for physical improvements proposed within the right-of-way.
8. The proposed action exceeds land disturbance thresholds and the applicant will require coverage under the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).
9. The proposed day care facility requires approval from the NYS Department of Licensure.

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10. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; the Planning Board Secretary will coordinate this referral.

Part 1 EAF Comments:

- A.0: A more thorough project description should be provided.
- B.0: The required Stormwater Permit should be identified under "Planning Board"; ACARC approval is required and should be identified as such under "other local agencies"; if deemed necessary, Zoning Board variances shall be identified under "Zoning Board of Appeals"; the Westchester County Planning Board 239-m referral should be identified under "County Agencies"; the NYSDOT Use and Occupancy and Highway Work Permit should be identified under "State agencies."
- C.2.a: The subject property is included within the Town's Master Plan; the applicant should answer this question "yes" and should provide an answer for the follow-up question.
- C.2.b: The applicant should mark "yes" and identify the NYC East of Hudson Watershed.
- C.3.b: The proposed use is a permitted use; the applicant should mark "yes".
- C.4.a: Please revise the answer to read "Katonah Lewisboro School District".
- C.4.c: Please revise the answer to read "Goldens Bridge Fire Department".
- D.1.a: Provide a list of proposed uses (child day care, retail, office).
- D.2.b.v: The applicant should answer this question.
- D.2.c.iii: Identify a supply source (second bullet under D.2.c.iii).
- D.2.d.v: The applicant should answer this question.
- D.2.e.i: The area of proposed impervious cover appears to differ from the added site development coverage as identified on the site plan; please revised or identify reason for the difference.

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D.2.p: How will the building be heated? Please confirm bulk storage of fuel will be <1,100 gallons.

E.1.h: Provide additional information pertaining to the spills and NYSDEC closure reports.

E.3.e/f: Please provide mapping available from the State Historic Preservation Office (SHPO) website.

Parts 2 and 3 EAF Review: Pending receipt

Comments

1. As parking standards differ between uses, the applicant should identify the type of office use proposed (i.e., professional office or medical office).
2. It is recommended that the Building Inspector review the proposed plans for zoning compliance; a report from the Building Inspector should be provided to the Planning Board.
3. As many of the retaining walls are proposed within the required zoning setback area, compliance with Section 220-12E of the Zoning Code is required. The proposed walls appear to exceed the maximum height requirement (in certain locations) and, in the case of the wall proposed along the northerly property line, requirements pertaining to maximum wall length and setback from the street line. As currently designed, it appears that one (1) or more variances would be required from the Zoning Board.
4. According to the applicant, the shopping center has a current parking deficiency of 67 spaces and will have a deficiency of 61 spaces following the implementation of the proposed action. While the proposed action reduces the deficiency by six (6) spaces, Section 220-54 of the Zoning Code states that required parking for existing uses must be provided at the time of any enlargement of existing uses or the further development of the property. It is our opinion that unless the Planning Board approves the joint use of parking spaces in accordance with Section 220-55B, a variance for the resulting 61 parking space deficiency would be required.
5. The expansion of the shopping center presents an opportunity to analyze and perhaps improve traffic and pedestrian circulation within the existing portion of the shopping center, including landscaping, hardscaping, and facade improvements. It is recommended that the Planning Board and applicant take this opportunity and work to make improvements to portions of the existing shopping center to enhance both its appearance and functionality.

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6. We note that the Town has been working towards pedestrian improvements and connections within the hamlet of Goldens Bridge. Recently, the Town Board amended its Master Plan to include a "Complete Streets" addendum and held a community workshop led by a transportation consultant and representatives of the New York Metropolitan Council, Westchester County, and the NYSDOT. Discussions included pedestrian improvements and connections between the shopping center and the MTA parking lot, sidewalks along North Street, improvements at the NYS Route 138 and North Street intersection, improvements along NYS Route 138, and pedestrian connections to the train station. It is recommended that the applicant coordinate its plans with any of the Town's plans and goals for the immediate area.
7. The site plan identifies a $\pm 80' \times 25'$ outdoor play area with a note stating "if required". While it has been our experience that the State generally requires day care centers to have an outdoor play area, if the play area becomes discretionary, the benefits of retaining the outdoor play area may outweigh the additional parking proposed in its place (four (4) parking spaces).
8. All site-related improvements should be coordinated and illustrated on the engineered site plans, which will be the plans approved by the Planning Board; any permanent information shown on the site plan provided by the Project Architect should be provided on the engineered site plan, including the zoning and parking tables (for Phase I only). The engineered site plan set should include an existing conditions plan of the entire property.
9. The following comments pertain to zoning tables provided on the Project Architect's plan (Sheet 1 of 4):
 - The "Proposed Phase I" column should compare Town zoning requirements to the proposed building; while we understand that rationale, please include proposed dimensions or areas associated with the proposed building as oppose to identifying "no change".
 - The existing floor area (s.f.) associated with the Existing - Maximum FAR, does not match the area provided on the floor plans or the area provided under the "Existing - Total Building Floor Area" column; please revise or identify why these figures are different. Similarly, the "Proposed Phase I - Maximum FAR" does not match the "Proposed Phase I - Total Building Floor Area" figure.

- Regarding the parking calculation, please identify the number of seats provided within the existing restaurant to ensure that the gross floor area calculation results in a large number of required spaces.
 - Regarding the parking calculation, we note that the existing Dunkin' Donuts and Subway are considered "limited service carry-out restaurants with less than 10 seats"; not "retail" as identified on the plan. This will have little consequence, as both uses have the same parking calculation, but the revision should be made nonetheless.
 - The area of disturbance identified at the bottom of the table differs from the disturbance area identified on the site plan.
 - Regarding the area of wetland buffer disturbance proposed, change the word "boundary" to "buffer".
10. The existing tenants within the shopping center should be identified within each demised space shown on the site plan (i.e., A&P, Dunkin' Donuts, Subway, etc.).
 11. The applicant should prepare a photometric lighting plan, designed to demonstrate conformance with Section 220-14 of the Zoning Code. The lighting plan shall identify illuminance levels as expressed in footcandles and measured in a grid pattern every 10 feet. All existing and proposed light fixtures shall be identified and detailed on the plan, along with proposed foundations.
 12. A landscaping plan, prepared by a NYS Licensed Landscape Architect, shall be prepared and shall demonstrate compliance with Sections 220-15 and 220-55E of the Zoning Code; it is recommended that a landscape plan be prepared for the entire site.
 13. Significant retaining walls or rock cut are proposed on the north, east and south side of the proposed building. The height of the walls vary ($\pm 1'$ to 19' tall), as does their visibility; however, certain segments of the walls will be visible from within the shopping center and from NYS Route 138. The appearance of these walls should be identified and discussed with the Planning Board.
 14. Landscaping, hardscaping and internal traffic and pedestrian improvements, circulation and control will be reviewed at a later date and as the project progresses. Details of those improvements will be required.

15. The applicant has identified that it has retained a traffic consultant to prepare a traffic analysis for the project. The applicant's traffic consultant shall contact this office to discuss the scope of the study. It is also recommended that the traffic consultant analyze the existing and proposed traffic circulation patterns within the subject property.
16. The applicant must quantify the area of disturbance and area of impervious coverage proposed within the Town's 150-foot wetland buffer. A wetland mitigation plan, prepared in conformance with Appendix B-Part II of the Wetland Ordinance, must be submitted for review. We note that the Wetland Ordinance strives for a 1:1 mitigation ratio and a no-net-loss of wetlands and buffers.
17. The wetland delineation report must be revised to include the items required, per Section 217-7A(6) of the Wetland Ordinance.
18. All on-site trees with a diameter of ≥ 8 " dbh must be survey-located and illustrated on the site plan. The plan should identify the diameter and specie type of each tree and whether the tree is to be protected or removed.
19. It is recommended that the plans be referred to the Goldens Bridge Fire Department for review and comment.
20. The applicant should provide correspondence from the NYS Department of Licensure identifying that the building and site layout, including the outdoor recreation area, meets their criteria for approval.
21. The SWPPP requires approval by the NYCDEP; the applicant should identify its status with the NYCDEP, extent of their review and provide any correspondence it has with the NYCDEP to the Planning Board. This office will reserve detailed review of the SWPPP until the NYCDEP has provided comment and the plan progresses.
22. As a condition of the NYSDOT Use & Occupancy Permit, the applicant is required to submit a drainage analysis for the stormwater management system for their review. The applicant should update the Board as to the status of their review and provide any correspondence it has with the NYSDOT.

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23. Please identify how the proposed building will be heated and whether additional fuel sources are required; the site plan shall be revised to include connections to proposed or existing services.
24. The applicant has received a Change of Use Permit from the WCDH. As this approval was obtained in December of 2013 and was based on a similar, but different, site plan, building design and floor plan configuration, the WCDH Change of Use Permit should be updated.
25. A fence should be shown around the perimeter of the outdoor play area and detailed on the plan.
26. It is recommended that the detail of the proposed refuse enclosure be revised to specify an 8-foot tall fence.
27. Building signage must be detailed on the plan to demonstrate compliance with Chapter 185 of the Town Code; traffic related and handicap signs shall also be specified and detailed.
28. The applicant has prepared a SWPPP in accordance with the New York State Stormwater Management Design Manual (NYS SMDM), June 2010, for coverage under NYSDEC General Permit GP-0-10-001. It is noted that this Permit expires January 28, 2015 and GP-0-15-002 will be effective as of January 29, 2015. The SMDM has been revised as well (dated January 2015). Modifications to the documents include storm sizing criteria and inspection requirements, as well as updated forms and applications. All references to the Permit included on DWG ES-1, Erosion Control Notes, should be updated to reflect the new Permit. Given the timing of this submission, the applicant should update the SWPPP to demonstrate compliance with the new Permit.
29. The applicant has proposed an impermeable vertical barrier downgrade of Infiltration System #1 at the request of the NYSDOT to protect adjacent State-owned property from stormwater migration. The applicant should confirm whether similar protection is required at Infiltration System #2. Details of the barrier installation should be included on the plans.
30. The plan proposes walls with heights of up to 19 feet. The limits and details of any required railings and/or fences should be included on the plans.

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31. The plan notes that the wall to the south of the building may be an exposed rock cut. The plan should include specifications should this alternative become necessary. Additionally, the plan should indicate rock removal methods proposed.
32. There are two (2) retaining wall details with differing reinforcing requirements. This shall be clarified.
33. The plan shall demonstrate that all required separation distances between the proposed stormwater system and septic system have been met to the satisfaction of the WCDH.
34. The SWPPP includes soil test data performed in 2013 and witnessed by the NYCDEP. Additional deep and soil percolation testing should be performed by the applicant to be witnessed by this office.
35. Given the separation of work areas associated with Infiltration System #2 and the detention system from the construction of the building, additional construction entrances and staging areas should be shown on the Erosion Control Plan (EC-1). Any required access or staging along North Street should be identified.
36. The construction sequence notes should be expanded to describe timing of the installation of each of the infiltration and detention systems, pre-treatment systems and their connections to the main collection system.
37. Infiltration System #2 includes the installation of equalization pipes spanning a "NYT Easement" area. The permitted use of this area, as proposed, shall be verified for the Board.
38. The pipe inverts at DMH #4 shall be verified and revised, as necessary, on the plan and profile. The proposed inverts appear to conflict with an existing 24" CMP pipe.
39. The layout of Diversion Manholes #1 and #2 and Outlet Control Structure #1 shall be coordinated between the plan and details.
40. The plan should include details for water and sewer service installations.
41. Retaining wall drainage discharge points should be indicated on the plan.
42. Details for the swale along the retaining wall should be provided.

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Documents Reviewed:

- Letter from Bibbo Associates, LLP, dated December 30, 2014
- Letter from The Helmes Group, LLP, dated December 30, 2014
- Wetlands Delineation Report, prepared by Evans Associates and dated August 24, 2010
- NYSDOT Interim Permit, dated October 27, 2014
- Westchester County Department of Health, dated December 13, 2013
- Stormwater Permit Application
- Wetland Permit Application
- Full Environmental Assessment Form, dated December 29, 2014
- Stormwater Permit Application, dated December 16, 2014
- *Stormwater Pollution Prevention Plan*, dated December 16, 2014
- Survey of Property, prepared by Bunney Associates and dated September 13, 2010

JKJ/JMC/DJS/dc

43. The parking stall dimensions on the Utilities Site Plan (US-1) shall be verified. It appears that the applicant is proposing shorter stalls than required by Town Code with 2 feet bumper overhangs at all locations. Adequate clearances for safe pedestrian access in all walkway areas shall be verified. As proposed, the walk in front of the building and through the proposed parking lot appears limited.
44. The Town's standard signature blocks for the owner/applicant, Planning Board Chairman, Planning Board Secretary, and Town Engineer shall be provided on all sheets.
45. The submitted survey shall be signed and sealed.
46. It is recommended that the applicant contact this office to schedule a technical meeting.
47. It is recommended that the Planning Board conduct a site walk.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by Bibbo Associates, LLP and dated December 22, 2014:

- Aerial Plan (AP-1)
- Existing Conditions Plan (E-1)
- Layout Plan (LA-1)
- Utilities Site Plan (US-1)
- Erosion Control Plan (EC-1)
- Erosion Control Notes (ES-1)
- Erosion Control Details (ED-1)
- Drainage Profiles (P-1)
- Site Details (SD-1)
- Drainage Details (DD-1 and DD-2)

Plans Reviewed, prepared by The Helmes Group, LLP and dated December 22, 2014:

- Proposed Site Plan, Zoning & Code Review & Parking Calculations (1 of 4)
- Existing Site Plan, Zoning Code Review & Existing Parking Calculations (2 of 4)
- Proposed Floor Plans & Floor Area Tabulations (3 of 4)
- Proposed Exterior Elevations (4 of 4)

ANALYSIS FOR DETERMINING AVERAGE RETAINING WALL HEIGHT ABOVE THE 6-FOOT TOWN OF LEWISBORO ZONING ORDINANCE

PROJECT: Goldens Bridge Village Center - Phase 1 Development

PREPARED BY: THE HELMES GROUP, LLP

DATE: 9/2/15

RETAINING WALL LOCATION "NORTH RETAINING WALL"	RETAINING WALL LENGTH	AVERAGE FINISH GRADE ELEVATION (See Retaining Wall Elevations)	PRODUCT	Maximum Height with Fence from Finished Grade (Feet)	Less Permitted Height (Feet)	Maximum Variance Request above what is Permitted (Feet)
(See Site Plan)				(Feet)	(Feet)	(Feet)
Segment "A"	138.00	7.75	1,069.50	21.5	6	15.5
Segment "B"	30.00	11.50	345.00	21.5	6	15.5
Segment "C"	13.00	3.75	48.75	13.5	6	7.5
TOTALS =		181.00	1,463.25			
AVERAGE RETAINING WALL HEIGHT ABOVE THE 6-FOOT TOWN ORDINANCE			8.08 FEET			
(1,463.25 divided by 181.00)						

RETAINING WALL LOCATION "SOUTH RETAINING WALL"	RETAINING WALL LENGTH	AVERAGE FINISH GRADE ELEVATION (See Retaining Wall Elevations)	PRODUCT	Maximum Height with Fence from Finished Grade (Feet)	Less Permitted Height (Feet)	Maximum Variance Request above what is Permitted (Feet)
(See Site Plan)				(Feet)	(Feet)	(Feet)
Segment "A"	35.00	2.20	77.00	9.8	6	3.8
Segment "B"	66.00	8.80	580.80	19.8	6	13.8
Segment "C" (Not in Required Yard Area No Variance Required)	N/A	7.40	N/A	19.8	6	13.8
Segment "D" (Not in Required Yard Area No Variance Required)	N/A	1.00	N/A	7	6	1
TOTALS =		101.00	657.80			
AVERAGE RETAINING WALL HEIGHT ABOVE THE 6-FOOT TOWN ORDINANCE			6.51 FEET			
(657.80 divided by 101.00)						

**ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS**

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, September 30, 2015 at 7:30 P.M., at the Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza, Lower Level, 20 North Salem Road, Cross River, New York 10518 regarding the following:

CAL. NO. 29-15-BZ

Application of Dawn & Gregg Plunkett, 53 Truesdale Lake Drive, South Salem, NY 10590 for a variance of Article IV, §220-23D (11) of the Zoning Ordinance in the matter of the construction of an accessory building on a vacant lot without a principle building and that will exceed 600 square feet (proposed approximately 1800 square feet in floor area) in an R-1/2A, One-Half Acre Residential District. The property is located on the east side of Truesdale Lake Drive, and designated on the Tax Map as Sheet 36I, Block 10814, Lot 25, in an R-1/2A, One-Half-Acre Residential District.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at Town of Lewisboro Offices at Orchard Square, 20 Cross River Shopping Plaza: (PO Box 725) Lower Level, 20 North Salem Road, Cross River, New York 10518 during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 17th day of September, 2015
in Cross River, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIRMAN**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Town of Lewisboro

P. O. Box 725
20 North Salem Road, Cross River, New York 10590

APPLICATION TO THE BOARD OF APPEALS

*Cal. No. 29-15- (B.Z.) **Cal. No. (S.P.)

I. IDENTIFICATION OF APPLICANT & PROPERTY OWNER

Applicant's Name: Dawn Gregg Plunkett Phone: (845)649-0004
Address: 53 Truesdale Lake Drive E-Mail: mom1monkey@gmail.com
Owner's Name: Same
Address:
E-Mail:

II. TO THE ZONING BOARD OF APPEALS OF THE TOWN OF LEWISBORO:

Application is hereby made for:

- A Variation of Article Section 220-230(1) of the Zoning Ordinance.
A Special Permit pursuant to Article Section of the Zoning Ordinance.
An Interpretation of the Zoning Ordinance or Zoning Map.
A Variation of Section 280 (a) of the Town Law.
An appeal from an Order of the Building Inspector to correct a Violation of the Housing Code Section
(Other)

AND FURTHER DESCRIBED AS FOLLOWS:

Accessory Building Greater Than 600 SF Total Placement on Lot without Principle Building. APPROX 1800 SF

III. IDENTIFICATION OF PROPERTY:

Location of Affected Premises: 48 Truesdale Lake Dr.
Tax Map: Sheet 361 Block 10814 Lot(s) 25
Zoning District: R1/2A Lot Area: 0.573 Acres

IV. ADDITIONAL INFORMATION

Have previous appeals/special permits been filed in regard to these premises? (If yes, please give calendar number & date)

Cal. No. Date Cal. No. Date
Cal. No. Date Cal. No. Date

Has a court summons been served relative to this matter?

Have you inquired of the Clerk of the Town of Lewisboro whether there is any petition pending to change the use district regulations affecting the block on which these premises are located?

Attached hereto and made a part of this application, I submit the following:

- A copy of the ground and floor plans with all necessary measurements.
A property survey.
A signed consent by the owner of the property if the applicant is not the owner.

V. APPROVED FOR SUBMISSION:

Applicant's Signature: [Signature] Date: 7/2/15

VI. RECEIPT:

Date Received by Clerk: 9/8/2015 Fee Received \$: 250.
Check #: 1868 Receipt #: 26267

* EXPIRATION: (§ 220-74E(5)) "A variance shall be deemed to authorize only the particular use or uses specified in the decision, and unless other provisions are set forth by the Zoning Board of Appeals in connection with their decision, shall expire if work is not initiated pursuant thereto within one (1) year, of if said use or uses shall cease for more than one (1) year."

**Storage of Contractor's Equipment requires an additional fee for each required off-street parking space.

*** Accessory Apartment applications will also require an additional fee for filing the legal instrument with Westchester County.

AFFIDAVIT OF OWNERSHIP

State of New York, Gregg Plunkett being duly sworn, deposes
County of Westchester and says that he resides at 53 Truesdale Lake Road in the Town of Lewisboro
and that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the
Town of Lewisboro, N.Y., aforesaid and known and designated on the Tax Map as Lot Number
25 in Block 10814 on Sheet 36 I and that he hereby authorizes
to make the annexed application in his behalf
and that the statements of fact contained in said application including the statements contained in all
of the exhibits transmitted herewith are true.

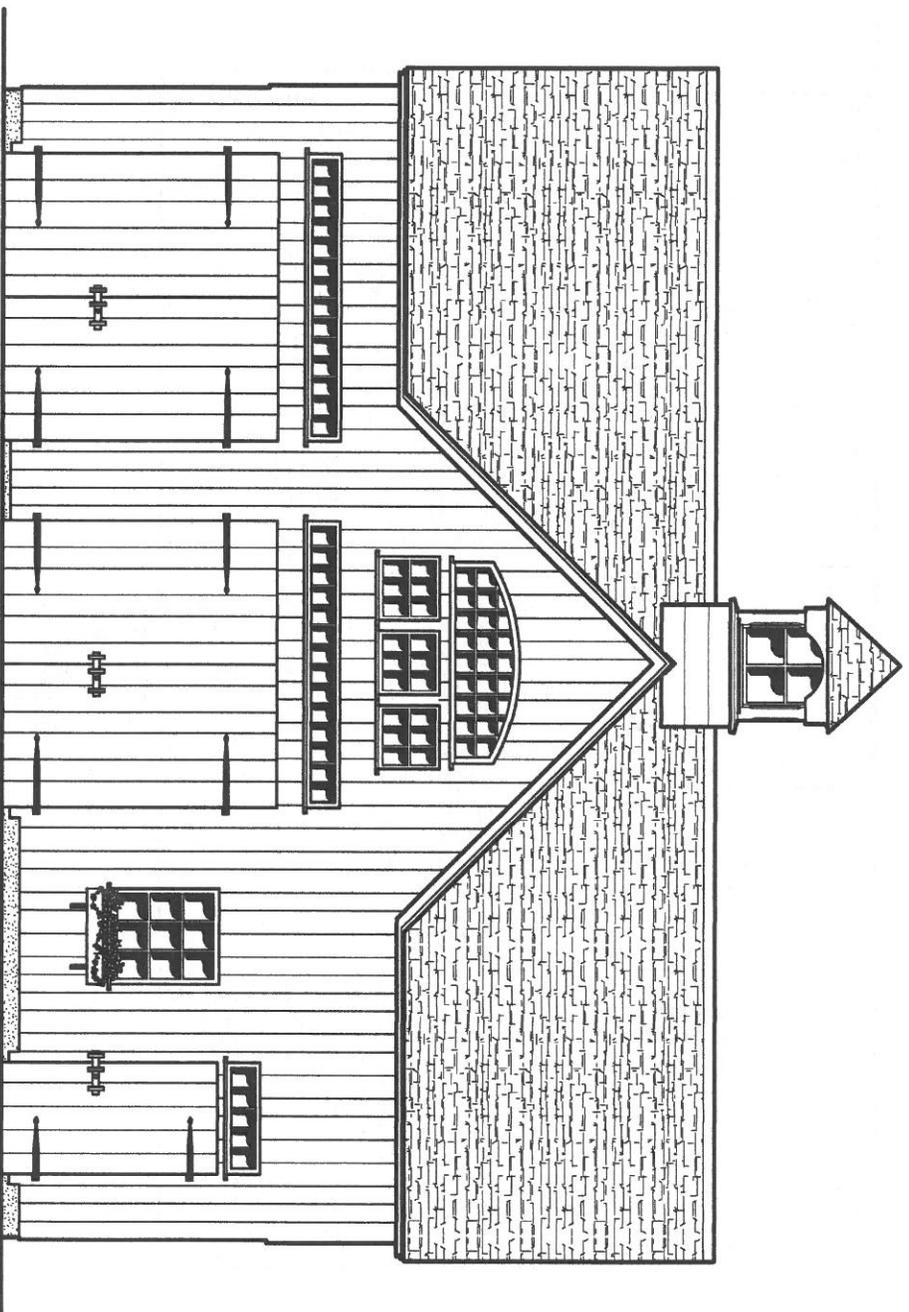
Sworn to before me, this 8th
day of September, 2015


(sign here)

(over)

SAMANTHA L INCLEDON
Notary Public - State of New York
No. 011N6304669
Qualified In Westchester County
My Commission Expires June 2, 2018

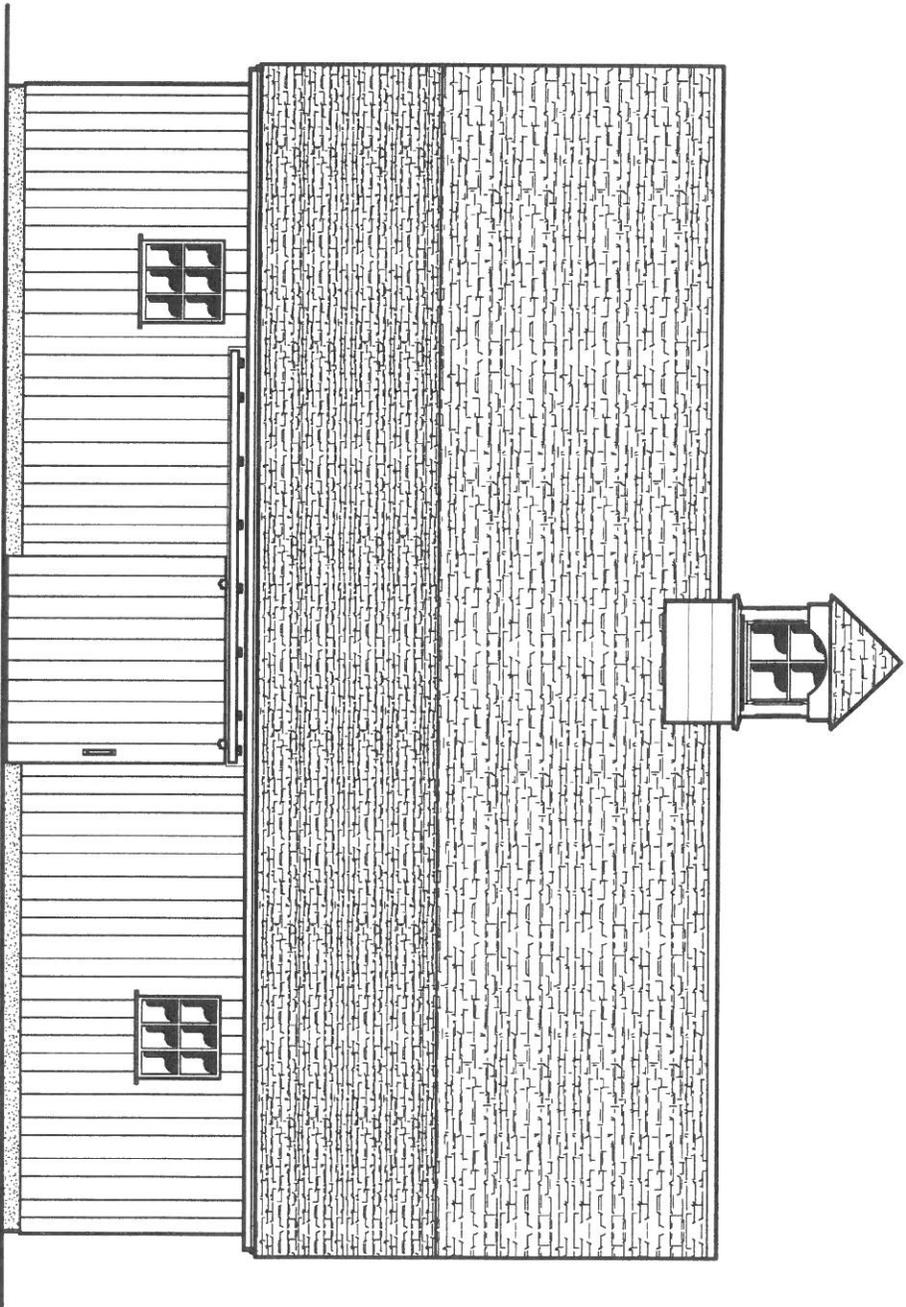
Dawn & Gregg Plunkett
(845) 649-0004
(845) 741-9864



FRONT ELEVATION SCALE: 3/16" = 1'0"

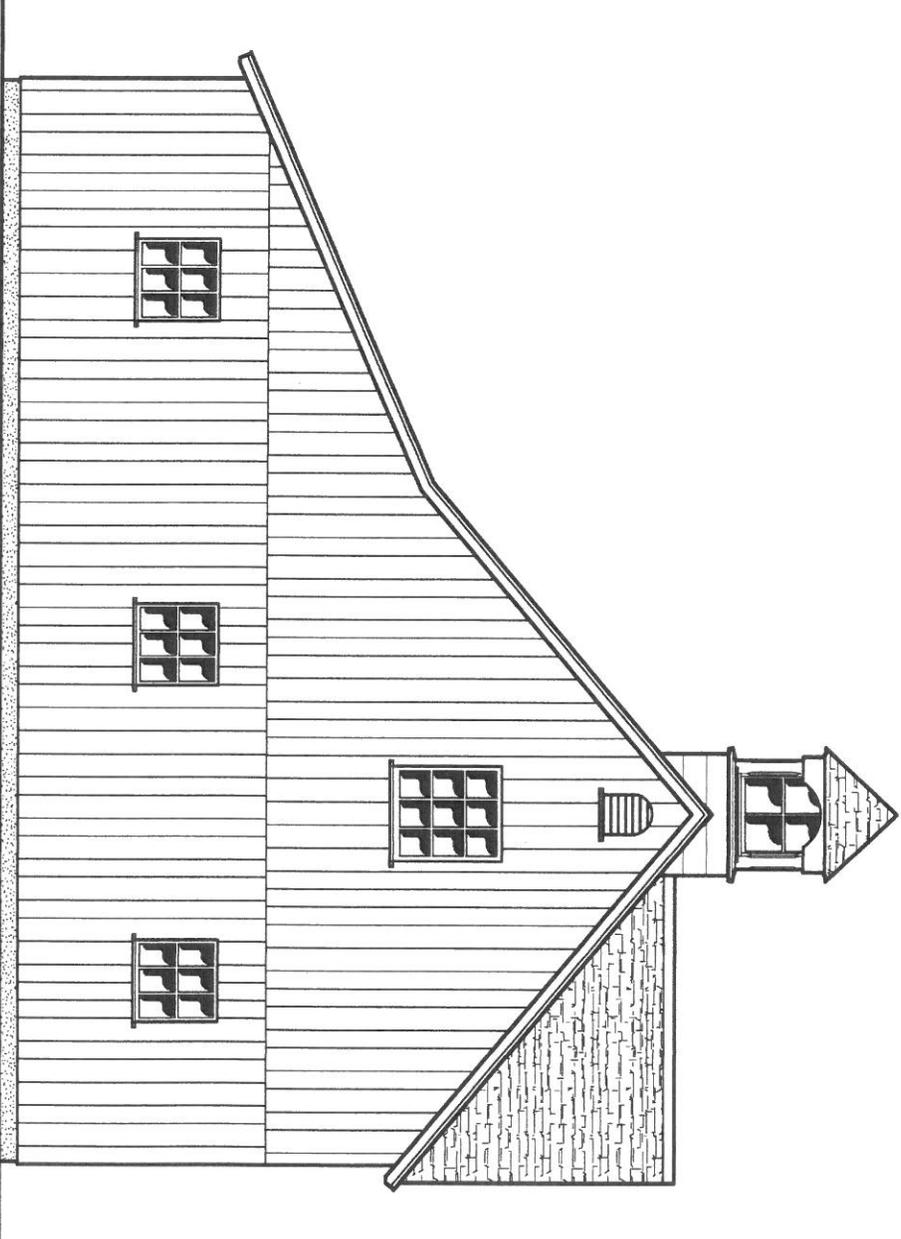
022-46-29-15-182

Dawn & Gregg Plunkett
(845) 649-0004
(845) 741-9864



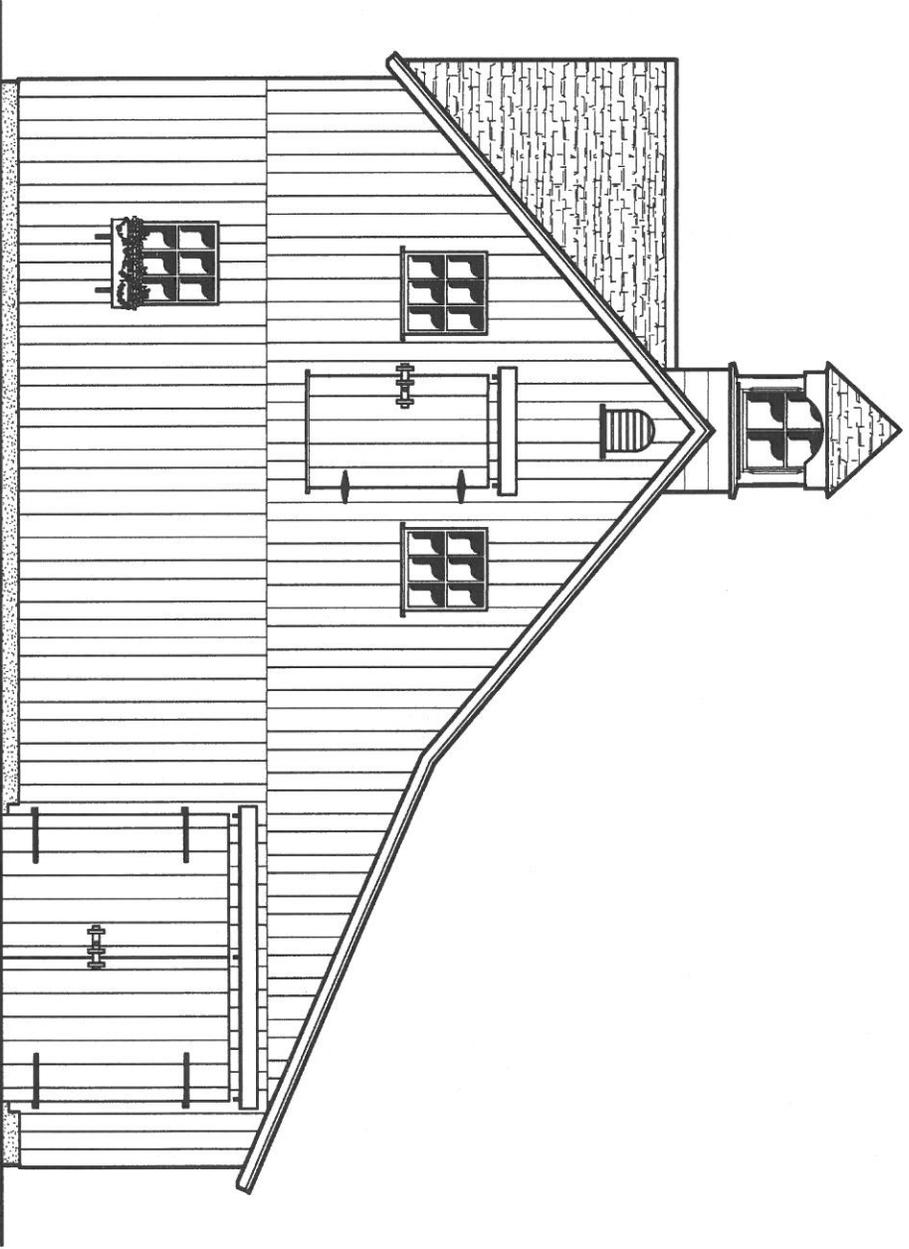
REAR ELEVATION SCALE: 3/16" = 1'0"

Dawn & Gregg Plunkett
(845) 649-0004
(845) 741-9864



LEFT ELEVATION SCALE: 3/16" = 1'0"

Dawn & Gregg Plunkett
(845) 649-0004
(845) 741-9864



RIGHT ELEVATION SCALE: 3/16" = 1'0"

Shows lot is not "buildable"

(212) 715-1155
763-3817

37 Washington St. West
APT. 5B
NY, NY
10011

Mr. Albert Munves
PO Box 215 S. Salem NY
Keane Coppelman Engineers, P.C. 113 Smith Avenue Mount Kisco, New York 10549

Fax: (914) 241-6787 Email: Smith113@aol.com Tel: (914) 241-2235

To: Albert Munves

From: Dan Coppelman, P.E.

Date: August 1, 2003

Re: Subdivision Lot # 25 -#48 Truesdale Lake Drive

B-10814
L-25
S-36I

Per Your request, this office performed a site inspection of your vacant lot known as # 48 Truesdale Lake Drive situated in the Town of Lewisboro. The lot is constrained due to the close proximity of wells and septic on previously developed adjoining parcels.

The only way to develop the lot would be to place a well as far to the rear of the property as possible. This would require the Septic to be placed in the front of the lot. Unfortunately, there are wells for lots 9, 10, and 11 directly across the street from the proposed septic area.

The Westchester County Department of Health, requires a 100' separation distance between a well and a septic system. In the case where the septic is above the well, the distance is 200'. Therein lies the problem, there is not 200' available between the proposed septic and the neighbor's well.

There may have been a possibility of providing a small area that would not be in direct line of drainage. Therefore, this office performed percolation tests to determine if a small septic system could be built for a small house. The tests results in the 30 minute per inch range which is too slow for a small septic system.

Based on the above, it appears that a Board of Health Approval is not feasible for this lot.

5/20/04 NKW
land 10,300
reduce by 3000

1/22/09
review
2009

Civil & Environmental Engineers