

APPROVED by Planning Board Resolution No. 10-17, dated 03/17/2020.

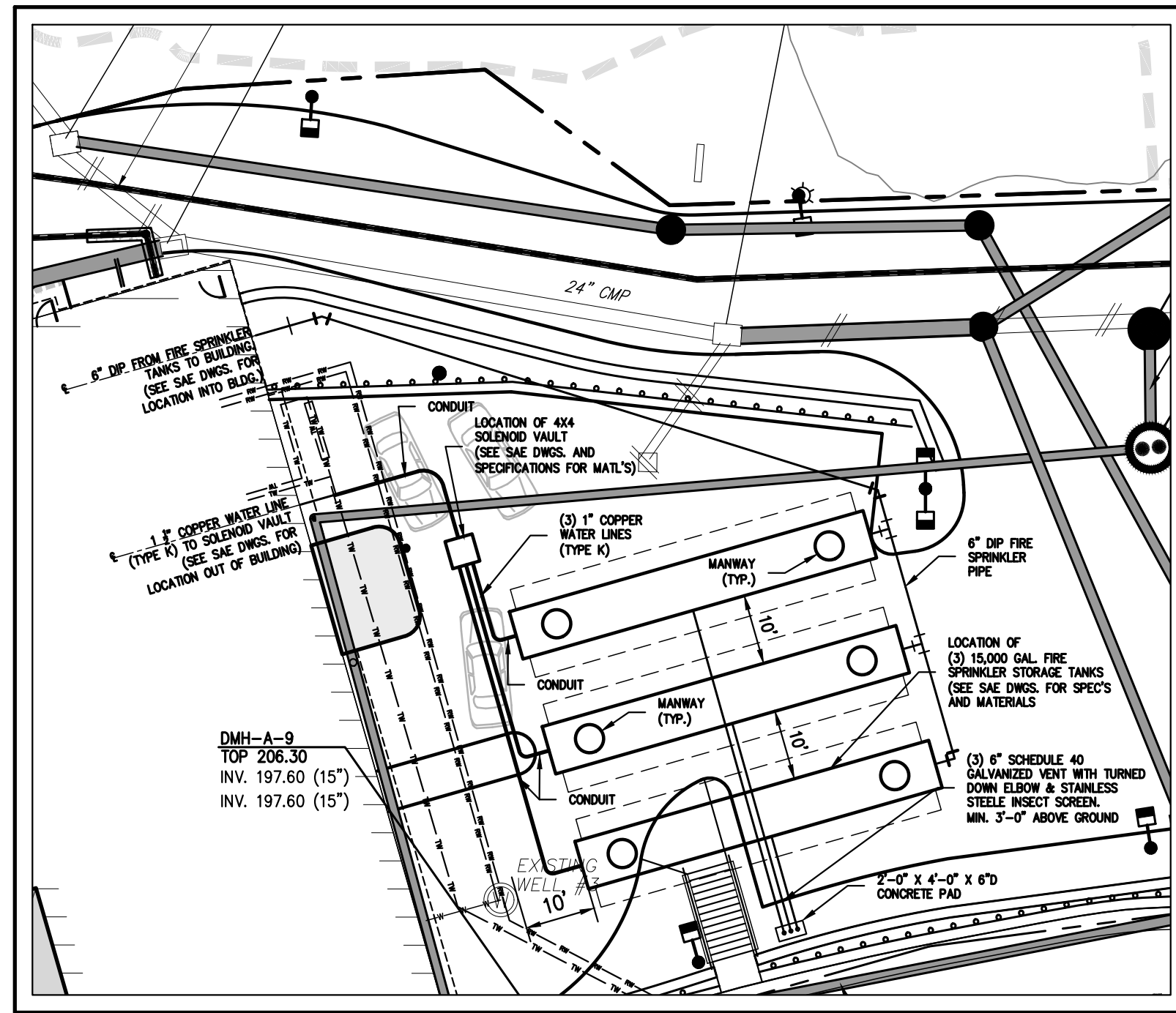
Owner
CELEBRITY WESTCHESTER REALTY, LLC
5 ANDERSON LANE
GOLDENS BRIDGE, NY 10526

Planning Board Chair
JANET ANDERSEN
79 BOUTON ROAD
SOUTH SALEM, NY 10590

Planning Administrator
CIORDAN CONRAN
79 BOUTON ROAD
SOUTH SALEM, NY 10590

Town Engineer's Certification
JOSEPH CERMELE, P.E.
KSCJ CONSULTING
TOWN CONSULTING ENGINEER

Reviewed for compliance with the Planning Board Resolution No. 10-17 dated 03/17/2020.



FIRE TANK ENLARGEMENT

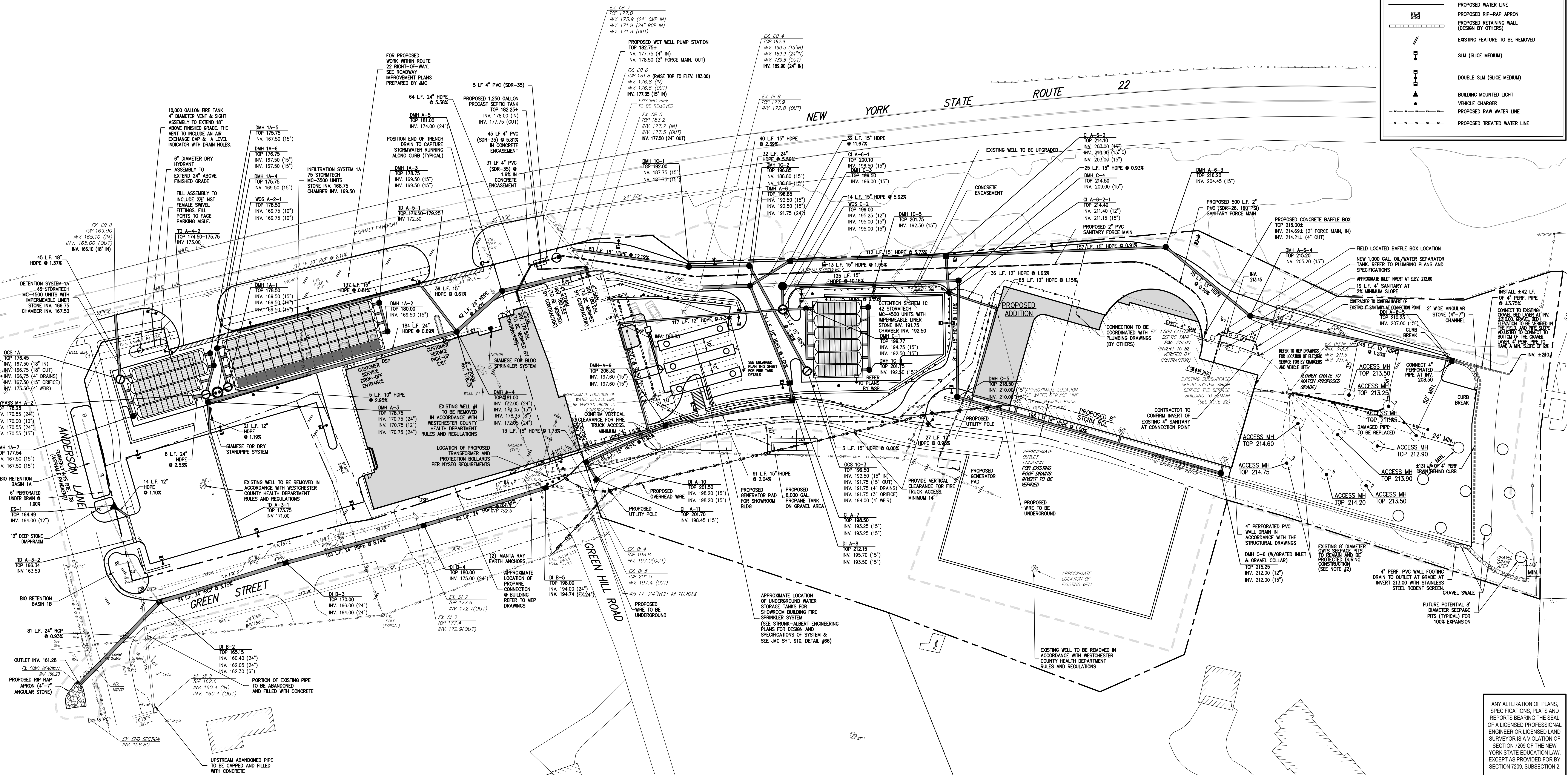
1"=20'

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C., DATED 8/17/2017, REVISED 05/01/2019.
- THE LOCATION OF THE EXISTING SUBSURFACE SEPTIC UTILITY INFORMATION WAS TAKEN FROM AS BUILTS ON DRAWING 9-5 "SEWAGE PROPOSAL AND WATER SUPPLY," LAST REVISED 08/31/1983 AS ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH ON 02/27/1983.
- ALL EXISTING STRUCTURES TO REMAIN SHALL HAVE THEIR TOPS AND GRATES ADJUSTED TO PROPOSED FINISHED GRADE. NEW FRAMES AND GRATES SHALL BE INSTALLED AT GRADE FOR THE EXISTING OWTS SEEPAGE PITS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL ROOF DRAIN LEADERS AND FOUNDATION DRAINS FOR CONNECTION INTO THE NEW STORMWATER MANAGEMENT SYSTEM.
- AS REQUIRED BY THE TOWN ENGINEER, THE DESIGN ENGINEER SHALL CERTIFY PROPER INSTALLATION AND OPERATION OF THE STORMWATER SYSTEMS. THE TOWN OF LEWISBORO ENGINEER SHALL INSPECT ALL WORK ASSOCIATED WITH THE PROPOSED DRAINAGE SYSTEM AND DETERMINE THE SYSTEM SUBSTANTIALLY COMPLETE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIX, REPAIR OR REPLACE ANY AND ALL ITEMS NECESSARY IN THE EVENT IT IS DETERMINED BY THE TOWN ENGINEER THAT THE DRAINAGE SYSTEM IS NOT COMPLETED PER TOWN STANDARDS.
- ALL SANITARY SEWER AND WATER UTILITIES MUST BE REMOVED AND/OR ABANDONED IN ACCORDANCE WITH WESTCHESTER COUNTY HEALTH DEPARTMENT RULES AND REGULATIONS.
- THE MAINTENANCE OF THE UNDERGROUND WATER STORAGE TANK SHALL BE THE RESPONSIBILITY OF THE APPLICANT. YEARLY INSPECTIONS/TESTING OF THE TANK SHALL BE CONDUCTED BY THE APPLICANT. PROOF OF INSPECTION/TESTING SHALL BE SUBMITTED TO THE PLANNING BOARD SECRETARY.
- ALL PROPOSED STORMWATER INFRASTRUCTURE SHALL BE MAINTAINED BY THE APPLICANT IN ACCORDANCE WITH THE MAINTENANCE PROCEDURES SPECIFIED ON THE SITE DEVELOPMENT PLANS AND WITHIN THE SWPPP.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2924. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRANTY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER FORCE MAINS SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (PVC), SDR-26, 160 PSI, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-2241.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), SDR-9 WITH BAR JOINTS IN ACCORDANCE WITH ASTM C-901.
- 6" DIAMETER FIRE SPRINKLER PIPE TO BE DUCTILE IRON CLASS 52. PROVIDE CEMENT LINER PIPE.
- ELECTRIC AND TELEPHONE LINES, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
- THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLANS.
- THERE ARE NO OWTS WITHIN 200' OF A WELL UNLESS OTHERWISE SHOWN ON PLAN.
- THE EXISTING OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
- IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED AND APPROVED BY WCHD.
- THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
- WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCHD) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCHD.
- THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
- ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE BOX.
- THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
- PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.
- THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
- THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
- THERE ARE NO NYSED WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
- NYSDAP MUST BE CONTACTED AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION OF THE OWTS SO THAT THE NYSDAP MAY INSPECT AND MONITOR THE INSTALLATION.
- INTERNAL OIL-WATER SEPARATORS WILL BE INSTALLED IN EACH BUILDING AND WILL FLOW INTO THE SANITARY SEWER. OIL-WATER SEPARATORS WILL BE SHOWN ON THE ARCHITECTURAL BUILDING DRAWINGS.
- THE EXTERIOR ABOVE GROUND DOUBLE WALL HEATING OIL STORAGE TANKS SHOWN ON THE PLAN SHALL BE SIZED AND DESIGNED BY THE BUILDING MEP ENGINEER.
- REFER TO MEP DRAWINGS FOR LOCATION OF ELECTRIC LINES TO EV CHARGERS, VEHICLE STORAGE LIFTS AND GENERATORS.
- REFER TO MEP DRAWINGS FOR GAS LINE TO PROPANE TANK.

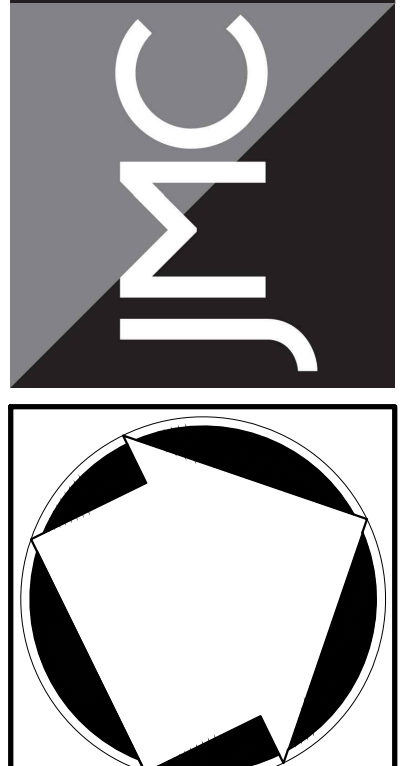
LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C1 DRAIN INLET
- PROPOSED TYPE D1 DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED HEADWALL
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
- PROPOSED STORM DRAIN LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED RP-RAP APRON
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- EXISTING FEATURE TO BE REMOVED
- SLM (SLICE MEDIUM)
- DOUBLE SLM (SLICE MEDIUM)
- BUILDING MOUNTED LIGHT
- VEHICLE CHARGER
- PROPOSED RAW WATER LINE
- PROPOSED TREATED WATER LINE



APPLICANT/OWNER:
CELEBRITY WESTCHESTER REALTY, LLC
5 ANDERSON LANE
GOLDENS BRIDGE, NY 10526
ARCHITECT:
SULLIVAN ARCHITECTURE
31 MANAFONCK AVENUE
WHITE PLAINS, NY 10601

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARTHUR, NY 10504
voice 914.273.5225 • fax 914.273.2192
www.jmcpllc.com



UTILITIES PLAN
MERCEDES BENZ OF GOLDENS BRIDGE
NY'S ROUTE 22
TOWN OF LEWISBORO, NY

Drawn: SS Approved: AN
Scale: 1" = 30'
Date: 05/01/2024
Project No: 16124
Revision: 01
Drawing No: C-300