

APPROVED by Planning Board Resolution No. 10-17, dated 03/17/2020.

Owner  
CELEBRITY WESTCHESTER REALTY, LLC  
5 ANDERSON LANE  
GOLDENS BRIDGE, NY 10526

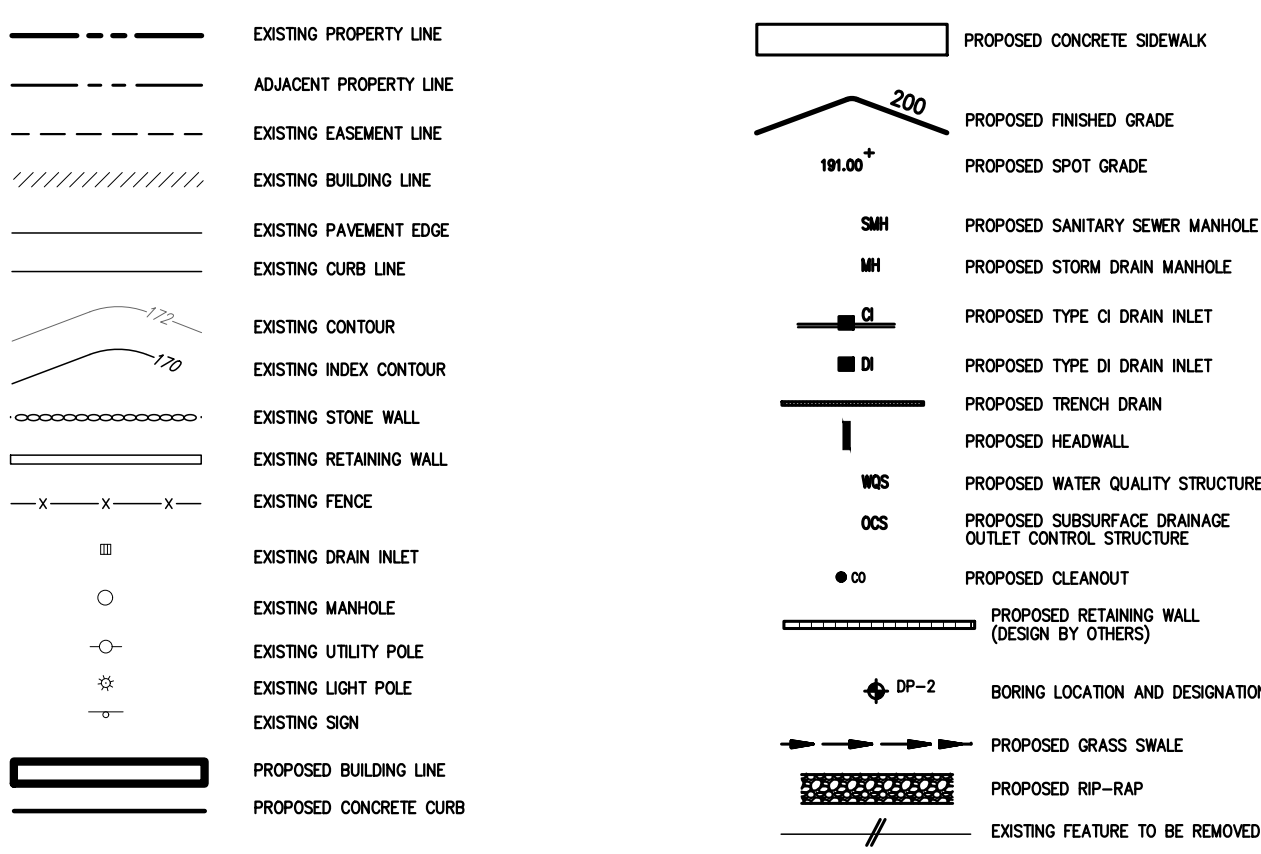
Planning Board Chair  
JANET ANDERSEN  
79 BOUTON ROAD  
SOUTH SALEM, NY 10590

Planning Administrator  
CJORDAN CONRAN  
79 BOUTON ROAD  
SOUTH SALEM, NY 10590

Town Engineer's Certification  
JOSEPH CERMELE, P.E.  
KSCJ CONSULTING  
TOWN CONSULTING ENGINEER

Reviewed for compliance with the Planning Board Resolution No. 10-17 dated 03/17/2020.

## PHASE 1 LEGEND



## SEDIMENT & EROSION CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING AND GRUBBING OR EARTHWORK.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:  
CREOSOTE AND FESCUE 30%  
PERENNIAL RYE GRASS 70%
- GRASS SEED MIX FOR SEDIMENT AND EROSION CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSEMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN THE FUNCTION OF THE SEDIMENT BARRIERS, ALL SEDIMENT COLLECTED SHALL BE RESPAVED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPLICABLE METHODS AS NECESSARY, OR AS DIRECTED BY THE CONTRACTOR.
- CUT AND FILLS SHALL NOT ENDANGER ADJACENT PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
- EXCAVATIONS AND FILLS SHALL BE MULCHED, SEALED AND STABILIZED AT COMPLETION OF EACH CONSTRUCTION DAY, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINFALLS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
- SCHEDULING OF BLASTING SHALL BE FINALIZED WHEN CONSTRUCTION DOCUMENTS ARE SUBMITTED AND SUBSURFACE INVESTIGATION IS CONDUCTED TO DETERMINE EXTENT OF ROCK. BLASTING WILL COORDINATE WITH OUR SCHEDULED HOURS OF OPERATION.
- THIS PLAN IS FOR PHASING AND SEDIMENT AND EROSION CONTROL INFORMATION ONLY.
- IF SOIL STOCKPILE AREA NOT USED FOR AN EXTENDED PERIOD OF TIME, THE STOCKPILE AREA SHALL BE SEEDED AND STABILIZED.
- SCHEDULE OF BLASTING SHALL BE FINALIZED WHEN CONSTRUCTION DOCUMENTS ARE SUBMITTED AND SUBSURFACE INVESTIGATION IS CONDUCTED TO DETERMINE EXTENT OF ROCK. BLASTING WILL COORDINATE WITH OUR SCHEDULED HOURS OF OPERATION.

## GENERAL NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY NISSE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C., DATED 08/17/2017, REVISED 05/01/2019.
- PRIOR TO THE START OF ANY DEMOLITION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF LEWISBORO AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES.
- ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARD AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF LEWISBORO OR JMC, PLLC.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION. IT SHALL BE REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
- EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
- CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
- ALL SANITARY SEWER AND WATER UTILITIES THAT MUST BE REMOVED AND/OR ABANDONED MUST BE DONE IN ACCORDANCE WITH WESTCHESTER COUNTY HEALTH DEPARTMENT RULES AND REGULATIONS.
- EDM WATERSEEDING SPECIFIED IN PART 1.8.1.8 OF THE SPICES GENERAL PERMIT (P-05-002) MUST BE PERFORMED TO RESEED SOIL STABILIZATION FOR EAST OF HUDSON WATERSHED IN PARTICULAR, THE REQUIREMENT FOR EDM WATERSEEDING.

## CONDITIONS RELATIVE TO THE USE OF GREEN STREET DURING CONSTRUCTION

- THE USE OF GREEN STREET DURING CONSTRUCTION AND FOR CONSTRUCTION EQUIPMENT ACCESS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE.
- NO CONSTRUCTION RELATED VEHICLES OR EQUIPMENT SHALL ENTER UPON PRIVATE PROPERTY WITHOUT THE PRIOR APPROVAL OF THE PROPERTY OWNER.
- TWO-WAY TRAFFIC ON ALL PUBLIC ROADS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION, UNLESS PARTIAL ROAD CLOSURES ARE NECESSARY AND ARE PREVIOUSLY APPROVED BY THE TOWN HIGHWAY SUPERINTENDENT WITH APPROPRIATE FLAGMEN AND SIGNAGE PROVIDED.
- NO MACHINERY, EQUIPMENT OR VEHICLES SHALL BE PARKED OR STORED WITHIN ANY TOWN RIGHT-OF-WAY DURING THE HOURS OF OPERATION. PARKING OF CONSTRUCTION WORKERS' VEHICLES AND DEBRIS SHALL NOT BE PERMITTED ON ROADWAY.
- SIGNS READING "NO CONSTRUCTION VEHICLES BEYOND THIS POINT" SHALL BE INSTALLED AT POINTS WHERE PRIVATE DRIVEWAYS INTERSECT THE TOWN RIGHT-OF-WAY.
- THE LIMITS OF RE-PAVING GREEN STREET SHALL BE DETERMINED BY THE TOWN HIGHWAY SUPERINTENDENT AND TOWN ENGINEER FOLLOWING THE INSTALLATION OF DRAINAGE INFRASTRUCTURE AND FOLLOWING THE USE OF GREEN STREET BY MACHINERY.

## SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT & EROSION CONTROLS AS INDICATED ON EACH PHASING PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
- PHASE 1:
- INSTALLATION OF PHASE 1 SEDIMENT & EROSION CONTROLS AS SHOWN ON DRAWING C-401 "PHASE 1 PLAN".
  - INSTALL THE DRAINAGE CONVEYANCE PIPES FROM DRAIN #1 TO DRAIN #4, INCLUDING THE TEMPORARY 15" STORM PIPE WHICH SHALL BE INSTALLED IN THE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE INSTALLED IN THE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE INSTALLED IN THE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE INSTALLED IN THE DRAINAGE SYSTEM.
  - DEMOLITION OF EXISTING FRAME HOUSES, CURBS, PAVEMENTS AND UTILITY SERVICES AS REQUIRED. PROVIDE STAGING AREAS AS REQUIRED. THE EXISTING DRAINAGE PIPES CONNECTING EX. 2 AND EX. 3 SHALL REMAIN AND BE PROTECTED.
  - INSTALL INFILTRATION SYSTEM IN ITS PRETREATMENT WATER QUALITY STRUCTURE AND THE DRAINAGE CONVEYANCE PIPES DOWNSLOPE OF THE EXISTING CATCH BASIN (EX. 2) AS A CAP ON THE DRAINAGE PIPE OUTLET LEAVING EX. 2 SHALL REMAIN UNTIL THE UPHILL AREAS ARE STABILIZED.
  - REDIRECT THE ROOF DRAIN LEADER ON THE EXISTING SERVICE BUILDING TO TEMPORARILY ALLOW THE STORMWATER TO RUN OVERLAND INTO THE PROPOSED DRAINAGE SYSTEM. THE DETENTION SYSTEM IS TO BE INSTALLED LATER IN PHASE 1. EXTEND THE ROOF DRAIN ON THE EXISTING SHOWROOM BUILDING THROUGH THE PARKING LOT NORTH OF THE EXISTING SHOWROOM BUILDING TOWARDS THE FUTURE LOCATION OF DETENTION SYSTEM TO BE INSTALLED LATER IN PHASE 1.
  - INSTALL THE PRECAST SEPTIC TANK AND WELL PUMP STATION BY THE SHOWROOM BUILDING. INSTALL THE SANITARY LINE FROM THE SHOWROOM BUILDING TO THE EXISTING SERVICE BUILDING. REPAIR AND REGRADE THE CATCH BASIN (EX. 2) SEEPAGE PITS IN THE UPPER PARKING LOT.
  - THE UPPER PARKING LOT ABOVE INFILTRATION SYSTEM IS TO BE ROUGH GRADED AND STABILIZED WITH PAVEMENT SUB-BASE ON TOP OF THE FACILITY TO PROTECT THE SOILS SURROUNDING THE INFILTRATION SYSTEM.
  - MAKE THE CONNECTION OF THE PROPOSED DRAINAGE SYSTEM TO THE EXISTING VESICUT DRAINAGE SYSTEM ALONG NYS ROUTE 22. THE PROPOSED INFILTRATION SYSTEM IS TO BE CONNECTED TO THE PIPE CONVEYANCE SYSTEM UNTIL ALL UPHILL STREAM CONTRIBUTING DRAINAGE AREAS ARE STABILIZED.
  - INSPECTION OF ALL WORK ASSOCIATED WITH THE PROPOSED DRAINAGE SYSTEM BY THE TOWN ENGINEER TO DETERMINE THE SYSTEM SUBSTANTIALLY COMPLETE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT TO RENOVATE THE EXISTING SHOWROOM BUILDING.
  - CLEAR AND EXCAVATE SOUTH OF EXISTING SHOWROOM BUILDING AND BEGIN SHOWROOM BUILDING EXPANSION CONSTRUCTION. REGRADE AND FINISH GRADE THE AREA BEHIND THE BUILDING EXPANSION, REDISTRIBUTE TOP SOIL, ESTABLISH VEGETATION AND INSTALL LANDSCAPING.
  - CONSTRUCT PARKING AREA ON NORTH SIDE OF THE EXISTING SHOWROOM BUILDING. PROPOSED RETAINING WALLS ALONG THE EXISTING DRIVEWAY. PROPOSED RETAINING WALLS AND FENCES SURROUNDING THE MOBILE PARKING AREA.
  - INSTALL DETENTION SYSTEM IS ITS WATER QUALITY STRUCTURE. INLET AND OUTLET PIPES CONNECT TO THE REMAINDER OF THE PREVIOUSLY INSTALLED PORTION OF THE ROOF DRAIN FROM THE EXISTING SHOWROOM BUILDING EARLIER IN PHASE 1.
  - INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
  - FINISH GRADING, REDISTRIBUTE TOPSOIL, AND ESTABLISH VEGETATION AND/OR LANDSCAPING FOR PHASE 1 AREAS AND WITHIN PERMIT (P-05-002) MUST BE PERFORMED TO RESEED SOIL STABILIZATION FOR EAST OF HUDSON WATERSHED IN PARTICULAR, THE REQUIREMENT FOR EDM WATERSEEDING.
  - CLEAN ALL NEW DRAIN INLETS, TRENCH DRAINS, CONVEYANCE PIPES, ETC. ANY SEDIMENT AND DEBRIS. REMOVE CAP BETWEEN EX. 2 AND EX. 3 AND PROPOSED INFILTRATION SYSTEM IS TO BE ROUGH GRADED AND STABILIZED WITH PAVEMENT SUB-BASE ON TOP OF THE FACILITY TO PROTECT THE SOILS SURROUNDING THE INFILTRATION SYSTEM.
  - EACH PHASE OF CONSTRUCTION MUST BE STABILIZED (80%) BEFORE MOVING ON TO THE NEXT PHASE.
- PHASE 2:
- INSTALLATION OF NEW PHASE 2 AND ANY PHASE 1 TO REMAIN SEDIMENT & EROSION CONTROLS AS SHOWN ON DRAWING C-402 "PHASE 2 PLAN".
  - BEGIN RETAINING WALL AND FENCE CONSTRUCTION ALONG THE EAST SIDE OF THE SERVICE BUILDING CONTINUING THROUGH THE NORTHERN PARKING AREA. TEMPORARY SIGNAGE SHALL BE IMPLEMENTED WHERE REQUIRED.
  - CLEAR AND EXCAVATE SOUTH OF EXISTING SERVICE BUILDING AND BEGIN SERVICE BUILDING EXPANSION CONSTRUCTION. INSTALL ROOF DRAIN LEADERS AND CONNECTIONS TO PREVIOUSLY INSTALLED PORTION OF THE DRAINAGE SYSTEM CONVEYING THE NEW PORTION OF THE SERVICE BUILDING TO INFILTRATION SYSTEM. THE EXISTING SHOWROOM BUILDING TO CONVEY THE STORMWATER TO DETENTION SYSTEM IS TO BE INSTALLED IN PHASE 1. INSTALL INLET PROTECTION ON ALL NEW DRAIN INLETS.
  - INSPECTION OF ALL WORK ASSOCIATED WITH THE PROPOSED DRAINAGE SYSTEM BY THE TOWN ENGINEER TO DETERMINE THE SYSTEM SUBSTANTIALLY COMPLETE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT TO RENOVATE THE EXISTING SERVICE BUILDING.
  - INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
  - FILL AND FINISH GRADE THE AREA ON EAST SIDE OF BEHIND THE SERVICE BUILDING. REDISTRIBUTE TOP SOIL, ESTABLISH VEGETATION AND INSTALL LANDSCAPING.
  - FINISH GRADING, REDISTRIBUTE TOPSOIL, AND ESTABLISH VEGETATION AND/OR LANDSCAPING FOR PHASE 2 AREAS AND WITHIN PERMIT (P-05-002) MUST BE PERFORMED TO RESEED SOIL STABILIZATION FOR EAST OF HUDSON WATERSHED IN PARTICULAR, THE REQUIREMENT FOR EDM WATERSEEDING.
  - COMPLETE REMAINING PARKING LOT CONSTRUCTION, FINE GRADING, AND INSTALL ASPHALT CONCRETE PAVEMENT. REMOVE OR ABANDON EXISTING PAVING MATERIAL AND REPAIR AND REGRADE THE EXISTING PAVING MATERIAL.
  - FINISH GRADING, REDISTRIBUTE TOPSOIL, AND ESTABLISH VEGETATION AND/OR LANDSCAPING. COMPLETE ASPHALT PAVING TOP COURSE FOR PHASE 2 AND APPLY PAVEMENT STIPPLING.
  - CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
  - EACH PHASE OF CONSTRUCTION MUST BE STABILIZED (80%) BEFORE MOVING ON TO THE NEXT PHASE.
- PHASE 3:
- INSTALLATION OF NEW PHASE 3 AND ANY PHASE 1 & 2 TO REMAIN SEDIMENT & EROSION CONTROLS AS SHOWN ON DRAWING C-403 "PHASE 3 PLAN".
  - DEMOLITION OF EXISTING FRAME HOUSE, CURBS, PAVEMENTS AND UTILITY SERVICES AS REQUIRED. PROVIDE STAGING AREAS AS REQUIRED.
  - INSTALL PROPOSED RETAINING WALL AND FENCE ALONG THE NORTH, EAST, AND SOUTH SIDES OF THE UPPER PARKING LOT AREA.
  - INSTALL THE DRAINAGE CONVEYANCE PIPES FROM DRAIN #1 TO DRAIN #1, LEAVING THE INLETS COVERED UNTIL THE UPHILL AREAS ARE STABILIZED.
  - CONSTRUCT THE UPPER PARKING LOT AND DRIVEWAY EXPANSION. COMPLETE ASPHALT PAVING AND POROUS CONCRETE PAVEMENT.
  - REMOVE CURBS/OVERS FROM INLETS LOCATED IN DRIVEWAY LEADING TO UPPER PARKING AREA.
  - CLEAN ALL NECESSARY IMPROVEMENTS INCLUDING REPAIRING, STIPPLING, SIGNAGE, LANDSCAPING, ETC. TO ANDERSON LANE, GREEN STREET AND GREEN HILL ROAD.
  - COMPLETE PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

NOTE:  
THE OWNER/OPERATOR RESPONSIBLE FOR INSPECTION AND MAINTENANCE AS OUTLINED ABOVE AND IN THE STORMWATER POLLUTION PREVENTION PLAN IS:  
CELEBRITY ADJUTANT, LLC  
MR. TOM MAJULI  
PHONE: (913) 727-7016  
FAX: (913) 319-1013  
EMAIL: TMAJULI@CELEBRITYADJUTANT.COM

## TEMPORARY EROSION & SEDIMENT CONTROL INSPECTION & MAINTENANCE CHECKLIST

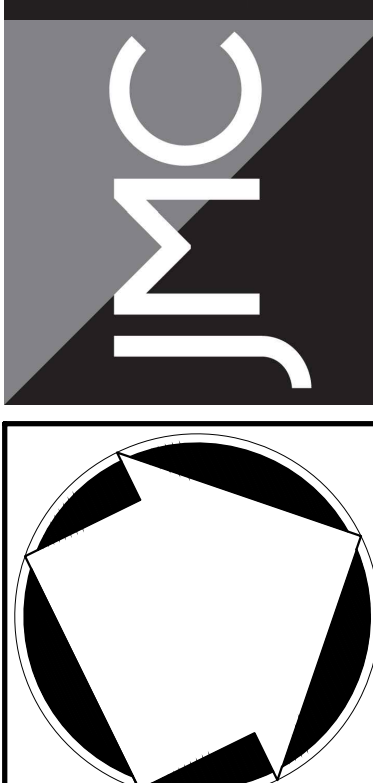
EROSION AND SEDIMENT CONTROL MEASURE	INSPECTION/MAINTENANCE INTERVALS	INSPECTION/MAINTENANCE REQUIREMENTS
STABILIZED CONSTRUCTION ENTRANCE	DAILY	PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE AS REQUIRED. • CLEAN SEDIMENT IN PUBLIC RIGHT-OF-WAYS IMMEDIATELY
SILT FENCE	DAILY + AFTER EACH RAIN	• REMOVE & REDISTRIBUTE SEDIMENT WHEN BULGES DEVELOP IN THE SILT FENCE
INLET PROTECTION	DAILY + AFTER EACH RAIN	• REFER TO FIGURES 5A11, 5A12, 5A13 & 5A14 WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL
TEMPORARY SWALE (IF REQUIRED)	WEEKLY + AFTER EACH RAIN	• IMMEDIATELY REMOVE AND SEDIMENT AND REESTABLISH VEGETATIVE COVER • RESPAVED AREA FOR RILLING AND REPAIR AS REQUIRED WITH THE FOLLOWING: 1. TOPSOIL, THEN SEEDING AND MULCHING AS REQUIRED. 2. SEEDING AND MULCHING AS REQUIRED. 3. SEEDING AND MULCHING AS REQUIRED. 4. SEEDING AND MULCHING AS REQUIRED.
SEDIMENT SUMP PIT (IF REQUIRED)	DAILY + AFTER EACH RAIN	• CHECK THAT STORMWATER IN THE PERFORATED PIPE IS CLEAN AND FREE OF TURBIDITY. • CONFIRM THAT FILTER FABRIC IS WAPPED TIGHTLY AROUND THE PERFORATED PIPE AND THE CRUSHED STONE IS AS NEEDED TO PREVENT CLOGGING

## PERMANENT STORMWATER MANAGEMENT PRACTICES INSPECTION & MAINTENANCE CHECKLIST

EROSION AND SEDIMENT CONTROL MEASURE	INSPECTION/MAINTENANCE INTERVALS	INSPECTION/MAINTENANCE REQUIREMENTS
VEGETATED SWALE	MONTHLY	• CHECK THAT CONTRIBUTING AREA IS CLEAN OF DEBRIS. • CHECK FOR WEEDING (MOWING, FERTILIZER, ETC.) • CHECK FOR RILLING/EROSION AND REPAIR AS NEEDED. • CONFIRM SEEDING OCCURS BETWEEN STORMS
SUBSURFACE STORMWATER MANAGEMENT DETENTION FACILITY	ANNUALLY + AFTER MAJOR STORMS	• CHECK LEVEL OF SEDIMENT AND DEBRIS ACCUMULATED WITHIN THE SYSTEM. • CHECK STRUCTURAL INTEGRITY OF THE SYSTEM PIPES, STRUCTURES, ETC. FOR CRACKING, BULGING OR DETEIORATION. REPAIR/REPLACE AS NECESSARY. • CONFIRM ALL INLETS AND OUTLET STRUCTURES/PIPES ARE OPERATING PROPERLY
DRAIN INLETS AND TRENCH DRAINS	MONTHLY	• CHECK FOR BLOCKAGE AND/OR EROSION AT TOP OF EACH INLET. • CLEAN AND REPAIR AS NECESSARY. • CHECK FOR SEDIMENT AND DEBRIS ACCUMULATED WITHIN SWALE. CLEAN OUT UTILIZING A HOSE AND SUSPEND SEDIMENTS.
NATIVE STONE WALL	ANNUALLY + AFTER MAJOR STORMS	• CHECK FOR EROSION AND/OR DAMAGE. REPAIR AS NECESSARY.
STORMWATER SUBSURFACE RETENTION FACILITY	SEMI-ANNUALLY + AFTER MAJOR STORMS (SEE MAINTENANCE SCHEDULES IN APPENDIX H)	• CHECK LEVEL OF SEDIMENT ACCUMULATED WITHIN THE DETENTION FACILITY. • CLEAN OUT UTILIZING A HOSE AND SUSPEND SEDIMENTS. • FRESH, STRUCTURAL INTEGRITY OF THE SYSTEM MUST BE MAINTAINED TO ENSURE IT IS FREE OF TRASH AND DEBRIS.
CDS WATER QUALITY STRUCTURE	QUARTERLY + AFTER MAJOR STORMS (SEE MAINTENANCE SCHEDULES IN APPENDIX D)	• OPEN ACCESS COVER FOR VISUAL INSPECTION AND MEASURE THE DISTANCE FROM THE STANDING WATER SURFACE TO THE SEDIMENT PILE WITH A MEASURING STICK OR TAPE. LESS THAN 4 FEET, INSERT HOSE FROM INLET TO CLEAN OUT THE STANDING WATER. LAYER OF OIL, SEDIMENT, FRESH, STRUCTURAL INTEGRITY OF THE SYSTEM MUST BE MAINTAINED TO ENSURE IT IS FREE OF TRASH AND DEBRIS.
POROUS PAVEMENT	MONTHLY & AS NEEDED	• ENSURE THAT PAVING AREA IS CLEAN OF DEBRIS. • ENSURE THAT PAVING DEWATERS BETWEEN STORMS. • ENSURE THAT THE AREA IS CLEAN OF SEDIMENTS. • MOW UPLAND AND ADJACENT AREAS, AND SEED BASE AREAS. • MAINTAIN PROPERLY TO KEEP SURFACE FREE OF SEDIMENTS. • INSPECT SURFACE FOR DETEIORATION OR SPALLING
GREEN ROOF	SPRING	• ANNUAL SOIL TEST BY REMOVING SMALL SOIL QUANTITIES AND SENDING TO A LABORATORY FOR NUTRIENT CONTENT, ETC. • BEGIN BIWEEKLY WEED INSPECTION AND REMOVAL. • LUDICIOUSLY APPLY PHOSPHORUS FREE FERTILIZER IF NEEDED BASED ON THE ANNUAL SOIL TEST RESULTS. • BIWEEKLY CHECK FOR DISPLACED SOIL. INSPECT ROOF DRAINS, REMOVE DEBRIS AND CHECK FOR PESTS.
	SUMMER	• CONTINUE BIWEEKLY WEED INSPECTION AND REMOVAL. • CONTINUE BIWEEKLY INSPECTION FOR DISPLACED SOIL. INSPECT ROOF DRAINS, REMOVE DEBRIS AND CHECK FOR PESTS.
	FALL	• CONTINUE BIWEEKLY WEED INSPECTION AND REMOVAL. • CONTINUE BIWEEKLY INSPECTION FOR DISPLACED SOIL. INSPECT ROOF DRAINS, REMOVE DEBRIS AND CHECK FOR PESTS.
	WINTER	• REMOVE SNOW AS NEEDED FROM ACCESS WALKWAYS

APPLICANT/TOWNER:  
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ARCHITECT:  
SULLIVAN ARCHITECTURE  
31 MANAFORCK AVENUE  
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PHASE 1 PLAN  
MERCEDES BENZ OF GOLDENS BRIDGE  
SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: SS Approved: AN  
Scale: 1" = 30'  
Date: 05/01/2024  
Project No.: 16124  
Sheet No.: PHASE 1 PHASINGh  
Drawing No.: C-401

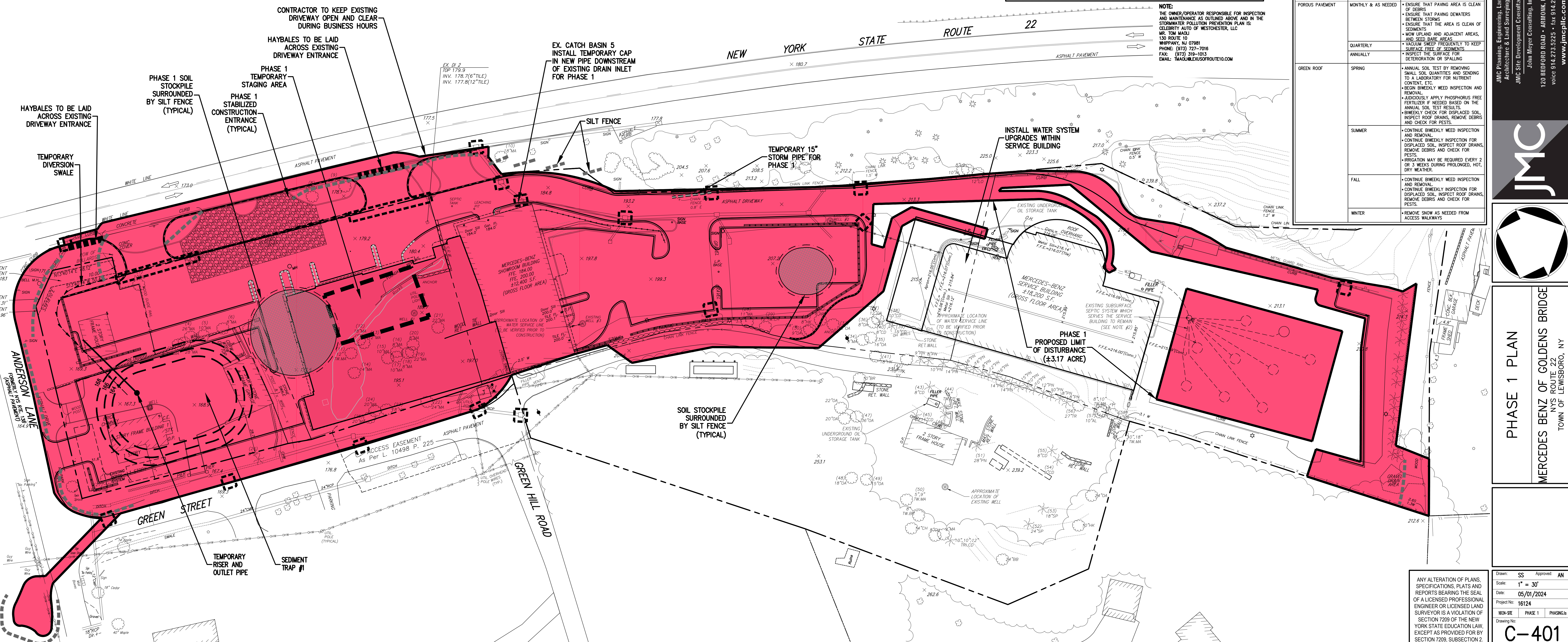
## NOTES:

- THE PROPOSED CONSTRUCTION STAGING AREA AND ENGINEER'S FIELD OFFICE SHALL BE APPROVED BY THE TOWN AND JMC PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE PROPOSED CONSTRUCTION STAGING AREAS SHALL BE LOCATED IN LEVEL PAVED AREAS TO PREVENT SOIL DISTURBANCE. CHAIN LINK SECURITY FENCE AND HAYBALES SHALL SURROUND THE STAGING AREAS IN PAVEMENT AS NECESSARY.
- THE PROPOSED CONSTRUCTION STAGING AREAS SHALL BE PREPARED AS FOLLOWS IN UNPAVED AREAS:  
A) STRIP TOPSOIL DOWN TO SUITABLE MATERIAL AND STOCKPILE BY BACKFILL WITH SUITABLE MATERIAL, IF NECESSARY, IN ORDER TO PROVIDE DRAINABLE GRADES.  
C) PLACE 3/4" CRUSHED STONE OR RECYCLE BLEND, 4" THICK

\* SUITABLE MATERIAL IS DEFINED AS ANY MINERAL (NATURAL) SOIL, BLASTED OR BROKEN ROCK, AND SIMILAR MATERIAL OF NATURAL OR MAN MADE (I.E. RECYCLED) ORIGIN, INCLUDING MIXTURES THEREOF.

## SEDIMENT TRAP INFORMATION

TRAP NUMBER	TRAP TYPE	DRAINAGE AREA (ACRES)	STORAGE REQUIRED (CUBIC FEET)	STORAGE PROVIDED (CUBIC FEET)	OUTLET LENGTH (FEET)	DEPTH BELOW OR PIPE SIZE (FEET)	RISER/OUTLET ELEVATION	EMBANKMENT HEIGHT AND ELEVATION
1.	PIPE OUTLET	3.17	11,412	13,808	24" DIA. RISER, 21" DIA. BARREL	2.5	166.50	4', 168.00
2.	PIPE OUTLET	1.46	5,256	5,325	18" DIA. RISER, 15" DIA. BARREL	2.5	210.50	4', 212.00



NOT FOR CONSTRUCTION